



Perspective 3



Matthews, NC  
August 17th, 2011





Front Elevation

- E-PT-1 BENJAMIN MOORE PAINT: AURA SERIES 2132-10 (BLACK) - SATIN #631
- E-PT-2 BENJAMIN MOORE PAINT: AURA SERIES 869 (OXFORD WHITE) SATIN #631
- E-PT-3 BENJAMIN MOORE PAINT: AURA SERIES HC-168 (CHELSEA GREY) SATIN #631
- E-PT-4 BENJAMIN MOORE PAINT: AURA SERIES RME-26 (CLASSIC BURGUNDY) SATIN #631
- E-PT-5 BENJAMIN MOORE PAINT: AURA SERIES 2115-10 (APPALACHIAN BROWN) SATIN #631



Right Elevation



Matthews, NC  
August 17th, 2011





Perspective 1



Matthews, NC  
August 17th, 2011





Rear Elevation

- E-PT-1 BENJAMIN MOORE PAINT: AURA SERIES 2132-10 (BLACK) - SATIN #631
- E-PT-2 BENJAMIN MOORE PAINT: AURA SERIES 869 (OXFORD WHITE) SATIN #631
- E-PT-3 BENJAMIN MOORE PAINT: AURA SERIES HC-168 (CHELSEA GREY) SATIN #631
- E-PT-4 BENJAMIN MOORE PAINT: AURA SERIES RME-26 (CLASSIC BURGUNDY) SATIN #631
- E-PT-5 BENJAMIN MOORE PAINT: AURA SERIES 2115-10 (APPALACHIAN BROWN) SATIN #631



Left Elevation



Matthews, NC  
August 17th, 2011





Perspective 2



Matthews, NC  
August 17th, 2011



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# SITE DEVELOPMENT PLANS

FOR

# RED LOBSTER RESTAURANT

**9700 EAST INDEPENDENCE BOULEVARD  
LOCATED BETWEEN THE BOB EVANS RESTAURANT  
AND THE CAPEL RUGS STORE  
MATTHEWS, NORTH CAROLINA**

LEGEND		
EXISTING	PROPOSED	
---	---	BOUNDARY LINE / ROAD R/W
---	---	ROAD / DRIVEWAY CENTERLINE
SS	SS	SANITARY SEWER
SD	SD	STORM DRAIN
W	W	WATER MAIN
G	G	GAS MAIN
OHP	OHP	OVERHEAD POWER LINE
UGP	UGP	UNDERGROUND PRIMARY POWER
UGS	UGS	UNDERGROUND SECONDARY POWER
UGT	UGT	UNDERGROUND TELEPHONE
UGC	UGC	UNDERGROUND CABLE TELEVISION
XXX	XXX	UTILITY LINE AS NOTED
FH	FH	FIRE HYDRANT
FDC	FDC	FIRE DEPARTMENT CONNECTION
PP	PP	POWER POLE
TSP	TSP	TRAFFIC SIGNAL POLE
WM	WM	WATER METER / BACKFLOW PREVENTOR
		GAS/WATER VALVE
	PIV	POST-INDICATOR VALVE
COO	COO DCOO	CLEAN OUT / DOUBLE CLEAN-OUT
		INLET (TYPE AS NOTED)
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
LP	LP	SITE LIGHT POLE AND FIXTURE
TP	TP	TELEPHONE PEDESTAL
		UTILITY BOX AS NOTED
X 263.00	236.8 FG	FINISHED GRADE ELEVATION
X 263.00	236.80 TW	TOP OF WALK ELEVATION
X 263.00	236.80 TC	TOP OF CURB ELEVATION
X 263.00	236.80 TP	TOP OF PAVING ELEVATION
X 263.00	236.80 G	GUTTER ELEVATION
IE=236.80	IE 236.80	INVERT ELEVATION
		ASPHALT PAVEMENT
		CONCRETE PAVEMENT
		CONCRETE CURB
		CONCRETE CURB & GUTTER
		CONTOUR
		DRAINAGE FLOW
RCP	RCP	REINFORCED CONCRETE PIPE
CPP	CPP	CORRUGATED PLASTIC PIPE
HDPE	HDPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
D.I.P.	D.I.P.	DUCTILE IRON PIPE
U.G.	U.G.	UNDERGROUND
A.G.	A.G.	ABOVEGROUND
EX. / EXIST.	EX. / EXIST.	EXISTING



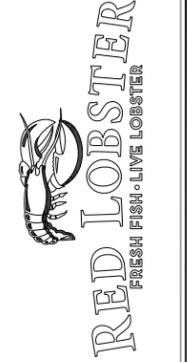
- GENERAL NOTES:**
- A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
  - WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.
  - SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER.
  - BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY OTHERS AND HAS NOT BEEN FIELD VERIFIED BY THE ENGINEER. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES OR CONFLICTS TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  - THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
  - ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER TAKES PRECEDENCE.
  - ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
  - GENERAL CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
  - ANY CONSTRUCTION TRAILERS USED ON-SITE SHALL BE PERMITTED THROUGH LOCAL GOVERNING AGENCY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS.
  - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING INFRASTRUCTURE WITHIN THE SITE OR ADJOINING PROPERTIES (I.E. PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS etc.). CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER IN ACCORDANCE WITH LOCAL REGULATOR REQUIREMENTS.
  - CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL UTILITIES BY THE APPROPRIATE UTILITY COMPANY AND SUBCONTRACTORS PERFORMING WORK TO AVOID CONFLICTS. GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING INSTALLATION OF ALL UTILITIES IN A TIMELY, ORGANIZED, AND SYSTEMATIC MANNER.
  - IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LEGAL MANNER.
  - THE CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT AND COMPLY WITH ALL REPORT RECOMMENDATIONS. IF A CONFLICT ARISES BETWEEN CIVIL DOCUMENTS AND GEOTECHNICAL REPORT, THE MORE STRINGENT SHALL GOVERN.

**SHEET INDEX**

SHT. NO.	SHEET NAME
C1.1	CIVIL COVER SHEET
C1.2	ALTA/ACSM LAND TITLE SURVEY
-01.0	SITE DEMOLITION PLAN
-05.1	EROSION CONTROL PLAN
-05.2	EROSION CONTROL DETAILS
-05.3	EROSION CONTROL DETAILS
C3.1	CIVIL SITE PLAN
C3.2	SITE DIMENSIONAL CONTROL PLAN
C4.1	SITE GRADING PLAN
C4.2	SITE DRAINAGE PLAN
05.1	SITE UTILITY PLAN
-05.1	SITE PAVING, GRADING & UTILITY DETAILS
-07.1	SITE DRAINAGE DETAILS
-07.2	RAIN GARDEN A DETAILS
-07.3	RAIN GARDEN B DETAILS
-08.1	CIVIL SPECIFICATIONS
-08.2	CIVIL SPECIFICATIONS
-08.3	CIVIL SPECIFICATIONS
-08.4	CIVIL SPECIFICATIONS
-08.5	GEOTECHNICAL REPORT
-08.6	GEOTECHNICAL REPORT
L1.1	SITE LANDSCAPE PLAN
-L1.2	BUILDING AREA LANDSCAPE PLAN
-L1.1	SITE IRRIGATION PLAN
-L1.1	LANDSCAPE & IRRIGATION NOTES & DETAILS
-L1.1	LANDSCAPE SPECIFICATIONS



Hussey, Gay, Bell & DeYoung, Inc.  
Consulting Engineers  
474 WANDO PARK BOULEVARD, SUITE 201  
MOUNT PLEASANT, SC 29564  
PH: 843.849.7500 FAX: 843.849.7502  
WWW.HGBD.COM  
HGBD PROJECT #41131325



Issue Date: 07-11-2011

**REVISION INFORMATION**

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

Restaurant #: 11R0016

**RED LOBSTER**  
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

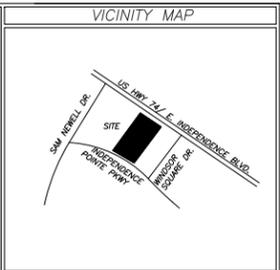
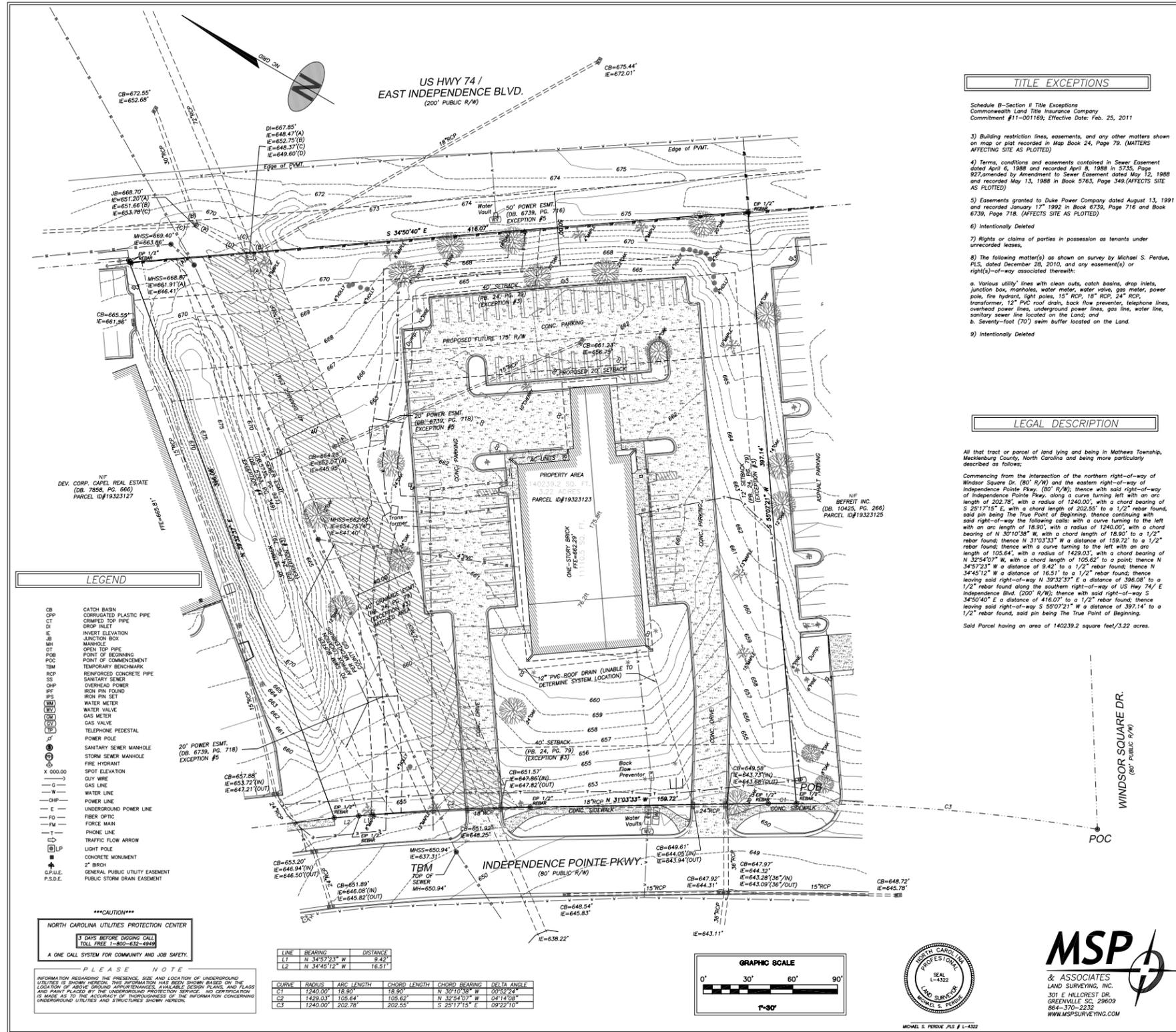
**MATTHEWS, NC**

Drawing  
**CIVIL COVER SHEET**

**C1.1**

**PROJECT CONTACTS**

<p><b>DEVELOPER</b> DARDEN RESTAURANTS, INC. 1000 DARDEN CENTER DRIVE ORLANDO, FL 32837 CONTACT: BRETT MASHCHAK PHONE: 407-245-6971 FAX: 407-241-5868 EMAIL: BMASHCHAK@DARDEN.COM MOBILE: 678-644-7479</p>	<p><b>SURVEYOR</b> HSP &amp; ASSOCIATES LAND SURVEYING, INC. 301 E. HILLCREST DRIVE GREENVILLE, SC 29609 CONTACT: MICHAEL S. PERDUE, RLS PHONE: 864-370-2232 FAX: 864-232-3128 EMAIL: MPERDUE@HSPSURVEYING.COM MOBILE: 864-915-3627</p>	<p><b>CIVIL/SITE</b> HUSSEY, GAY, BELL &amp; DEYOUNG, INC. 474 WANDO PARK BOULEVARD MOUNT PLEASANT, SC 29464 CONTACT: BRAD L. TAYLOR, PE (GARY JENSEN) PHONE: 843-849-7500 FAX: 843-849-7502 EMAIL: GJENSEN@HGBD.COM</p>	<p><b>LANDSCAPE</b> HUSSEY, GAY, BELL &amp; DEYOUNG, INC. 474 WANDO PARK BOULEVARD MOUNT PLEASANT, SC 29464 CONTACT: J. HAMMOND EVE, RLA (GARY JENSEN) PHONE: 843-849-7500 FAX: 843-849-7502 EMAIL: GJENSEN@HGBD.COM</p>	<p><b>ZONING/PLANNING</b> TOWN OF MATTHEWS 232 MATTHEWS STATION ST. MATTHEWS, NC 28105 CONTACT: BILL SHERRILL PHONE: 704-847-4411, EXT. 237 FAX: 704-336-3839 EMAIL: BSHERRILL@MATTHEWSNC.GOV</p>	<p><b>BUILDING DEPARTMENT</b> LAND USE &amp; ENVIRONMENTAL SERVICES AGENCY 700 NORTH TRYON STREET CHARLOTTE, NC 28202 CONTACT: CRAIG SLOOP PHONE: 704-336-3834 FAX: 704-336-3839 EMAIL: CRAIG.SLOOP@MECKLENBURGCOUNTYNC.GOV</p>	<p>* SEE SITE UTILITY PLAN FOR UTILITY CONTACTS. * THE INDIVIDUALS LISTED HERE-IN ARE INTENDED TO BE POINTS OF CONTACT AND ARE NOT NECESSARILY THE PROFESSIONALS OF RECORD. REFER TO THE INDIVIDUAL DISCIPLINE PLANS FOR INFORMATION REGARDING THE RESPECTIVE PROFESSIONALS OF RECORD.</p>
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**TITLE EXCEPTIONS**

- Schedule B-Section II Title Exceptions  
Commonwealth Land Title Insurance Company  
Commitment #11-001169, Effective Date: Feb. 25, 2011
- 3) Building restriction lines, easements, and any other matters shown on map or plat recorded in Map Book 24, Page 79. (MATTERS AFFECTING SITE AS PLOTTED)
  - 4) Terms, conditions and easements contained in Sewer Easement dated April 6, 1988 and recorded April 8, 1988 in 5735, Page 927 (amended by Amendment to Sewer Easement dated May 12, 1988 and recorded May 13, 1988 in Book 5763, Page 349) (AFFECTS SITE AS PLOTTED)
  - 5) Easements granted to Duke Power Company dated August 13, 1991 and recorded January 17, 1992 in Book 6739, Page 716 and Book 6739, Page 718. (AFFECTS SITE AS PLOTTED)
  - 6) Intentionally Deleted
  - 7) Rights or claims of parties in possession as tenants under unrecorded leases.
  - 8) The following matter(s) as shown on survey by Michael S. Perdue, PLS, dated December 28, 2010, and any easement(s) or right(s)-of-way associated therewith:
    - a. Various utility lines with clean outs, catch basins, drop inlets, junction box, manholes, water meter, water valves, gas meter, power pole, fire hydrant, light poles, 15" RCP, 18" RCP, 24" RCP, transformers, 12" PVC roof drain, back flow preventer, telephone lines, overhead power lines, underground power lines, gas line, water line, sanitary sewer line located on the Land; and
    - b. Seventy-foot (70') swim buffer located on the Land.
  - 9) Intentionally Deleted

**LEGAL DESCRIPTION**

All that tract or parcel of land lying and being in Mathews Township, Mecklenburg County, North Carolina and being more particularly described as follows:  
Commencing from the intersection of the northern right-of-way of Windsor Square Dr. (80' R/W) and the eastern right-of-way of Independence Pointe Pkwy. (80' R/W); thence with said right-of-way of Independence Pointe Pkwy. along a curve turning left with an arc length of 202.78', with a radius of 1240.00', with a chord bearing of S 29°17'15" E, with a chord length of 202.55' to a 1/2" rebar found, said pin being the True Point of Beginning; thence continuing with said right-of-way the following calls: with a curve turning to the left with an arc length of 18.90', with a radius of 1240.00', with a chord bearing of N 30°10'38" W, with a chord length of 18.90' to a 1/2" rebar found; thence with a curve turning to the left with an arc length of 105.64', with a radius of 1429.03', with a chord bearing of N 32°54'07" W, with a chord length of 105.62' to a point; thence N 34°57'23" W a distance of 9.42' to a 1/2" rebar found; thence N 34°45'12" W a distance of 16.51' to a 1/2" rebar found; thence leaving said right-of-way N 39°32'57" E a distance of 196.08' to a 1/2" rebar found along the southern right-of-way of US Hwy 74 / E Independence Blvd. (200' R/W); thence with said right-of-way S 34°50'40" E a distance of 416.07' to a 1/2" rebar found; thence leaving said right-of-way S 55°07'21" W a distance of 397.14' to a 1/2" rebar found, said pin being the True Point of Beginning.  
Said Parcel having an area of 140239.2 square feet/3.22 acres.

**GENERAL NOTES**

- 1) Property shown hereon is not located within a 100yr. Flood Plain (Zone X) according to FIRM Map # 371045 Panel 8000J effective date 5/2/09.
- 2) All distances are Horizontal Ground distances. Area calculated through computer computations.
- 3) Vertical datum based on GPS Observation using CORS Stations "GASTON CORS", "77 WELCOME CNTR CORS", and "CONCORD CORS" (NAVD 88)
- 4) Property Zoned B-2(CD) Minimum Setback Requirements:  
Front: 40'  
Side: 12'  
Rear: 40'  
Setbacks need to be verified by Site Engineer according to placement of building on site.
- 5) All matters affecting site as shown on plat recorded in PE. 24, Pg. 79 are shown hereon.
- 6) I, Michael S. Perdue certify that this plat was drawn under my supervision from an actual survey made under my supervision property as shown as described in CB-21278, pg. 378 that the ratio of precision as calculated is: 20,000 + and was not adjusted; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration # and seal this 12th day of Dec. 2010.  
That this survey is of an existing parcel of land, existing structures and does not create a new street or change existing streets.

Michael S. Perdue, PLS #L-4322  
Date: \_\_\_\_\_  
SURVEY REFERENCES:  
1) PE. 24, Pg. 79  
2) DB. 21278, Pg. 379

**SURVEYORS CERTIFICATION**

\* To: GMRI, Inc. and Commonwealth Land Title Insurance Company  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-6a, 8, 10, 11a, 13, 14 and 16 of Table A thereof. The field work was completed on 12/28/10.

Michael S. Perdue PLS #L-4322 Date \_\_\_\_\_

**LEGEND**

- CB CATCH BASIN
- CRP CORRUGATED PLASTIC PIPE
- CT CORNER TOP PIPE
- DI DROP INLET
- E INVERT ELEVATION
- JB JUNCTION BOX
- MH MANHOLE
- OT OPEN TOP PIPE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- TBM TEMPORARY BENCHMARK
- RCP REINFORCED CONCRETE PIPE
- SS SANITARY SEWER
- OSP OVERHEAD POWER
- IPF IRON PIN FOUND
- IPS IRON PIN SET
- WM WATER METER
- WV WATER VALVE
- GM GAS METER
- GV GAS VALVE
- TP TELEPHONE PEDESTAL
- PP POWER POLE
- SM SANITARY SEWER MANHOLE
- SH STORM SEWER MANHOLE
- PH FIRE HYDRANT
- SE SPOT ELEVATION
- GW GUY WIRE
- GL GAS LINE
- WL WATER LINE
- PL POWER LINE
- UL UNDERGROUND POWER LINE
- FO FIBER OPTIC
- FM FORCE MAIN
- TL TELEPHONE LINE
- LA LIGHT ARROW
- CM CONCRETE MONUMENT
- BR 2" BRCH
- GE GENERAL PUBLIC UTILITY EASEMENT
- P.S.D.E. PUBLIC STORM DRAIN EASEMENT

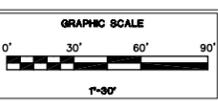
**\*\*\*CAUTION\*\*\***  
NORTH CAROLINA UTILITIES PROTECTION CENTER  
2 DAYS BEFORE DIGGING CALL  
TOLL FREE 1-800-632-6648  
A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY.

**PLEASE NOTE**  
INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE MENTIONED MANHOLES, JUNCTION BOXES, AND PINS PLACED BY THE UNDERGROUND UTILITY SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THE PRESENCE OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON.

LINE	BEARING	DISTANCE
L1	N 34°57'23" W	8.42'
L2	N 34°45'12" W	16.31'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1240.00'	18.90'	18.90'	N 30°10'38" W	09°52'24"
C2	1429.03'	105.64'	105.62'	N 32°54'07" W	04°14'58"
C3	1240.00'	202.78'	202.55'	S 29°17'15" E	09°22'10"



**SHEET # C 1.2**

4/26/11 Updated Exception 9  
4/11/11 Updated Title Commitment

ALTA/ACSM LAND TITLE SURVEY FOR

**GMRI, Inc.**

CITY: MATHEWS COUNTY: MECKLENBURG STATE: NORTH CAROLINA

DATE OF SURVEY: 12/28/10 SCALE: 1:30

FIELD WORK: MSP DRAWN BY: MSP REVIEWED BY: MSP

MSP FILE: MAT05 MSP JOB#: 10544



US HWY 74 /  
EAST INDEPENDENCE BLVD.  
(200' PUBLIC R/W)

Edge of P.V.M.T.

Edge of P.V.M.T.

**MAP NOTE:**

1. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY MSP & ASSOCIATES, LAND SURVEYING, INC.
2. TRANSFER OF SITE BENCHMARK(S) IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL ONLY BE COMPLETED BY A SURVEYOR LICENSED/REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
3. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING BENCHMARK PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. FIELD VERIFICATION CAN BE ACCOMPLISHED BY CHECKING A MINIMUM OF TWO FIXED OBJECTS DISPLAYED ON THE SURVEY (I.E., MANHOLE RIM, STORM GRATE, PIPE INVERTS, ETC.).

**LAYOUT NOTES:**

1. SEE GENERAL NOTES, SHEET C1.1. SEE SPECIFICATIONS ON CS SHEETS.
2. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
3. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS TO CURB ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. (I.E., ALL DIMENSIONS TO MOUNTABLE CURB ARE TO THE EDGE OF PAVEMENT).
5. ALL DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE HORIZONTAL MEASUREMENTS.
7. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
8. SIDEWALKS ARE TO INTERSECT WITH A 3' RADIUS UNLESS OTHERWISE NOTED.
9. WHEN NOT IN USE DURING WORK HOURS OR CONSTRUCTION IN ACTIVITY, EQUIPMENT SHALL BE PARKED A MINIMUM OF 10' AWAY FROM THE TRAVEL LANE IN SUCH A MANNER AS TO NOT CREATE A SIGHT DISTANCE PROBLEM FOR MOTORISTS.
10. WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 2-FEET OF THE EDGE OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL REFER TO THE CITY OF CHARLOTTE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) FOR PROPER LANE CLOSURE.
11. THE LAND DEVELOPMENT INSPECTOR SHALL BE CALLED TO CONDUCT INSPECTIONS ON STORM DRAINAGE, SIDEWALKS, DRIVEWAY AND ALL ASPECTS OF ROADWAY CONSTRUCTION.

SITE DIMENSIONAL INFORMATION SHOWN HERE-ON IS SCHEMATIC, ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND IS SUBJECT TO CHANGE. FINAL SITE DESIGN WILL BE IN ACCORDANCE WITH APPLICABLE ORDINANCES.

N/F  
DEV. CORP. CAPEL REAL ESTATE  
(DB. 7858, PG. 666)  
PARCEL ID#19323127  
EXISTING RETAIL BUILDING

N/F  
BEFREIT INC.  
(DB. 10425, PG. 266)  
PARCEL ID#19323125  
VACANT RESTAURANT BUILDING

INDEPENDENCE POINTE PKWY.  
(80' PUBLIC R/W)



Hussey, Gay, Bell & DeYoung, Inc.  
Consulting Engineers  
474 WANDO PARK BOULEVARD, SUITE 201  
MOUNT PLEASANT, SC 29564  
PH: 843.849.7500 FAX: 843.849.7502  
www.HGBD.com  
HGBD PROJECT #411313125



Issue Date: 07-11-2011

REVISION INFORMATION

1
2
3
4
5
6
7
8

Restaurant #: 11R0016

RED LOBSTER

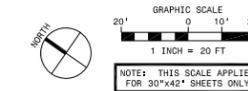
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

MATTHEWS, NC

Drawing  
SITE  
DIMENSIONAL  
CONTROL PLAN

C3.2

P:\PROJ\40524\_Dir\dm\411313125\_RL\_Matthews\_NC\CADD\C3D\325-C-3-2\_DimensLon\_P1an.dwg Printed: Jul 28, 2011 - 6:38pm Printed By: cvera © COPYRIGHT 2011 © ALL RIGHTS RESERVED DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION





US HWY 74 /  
EAST INDEPENDENCE BLVD.  
(200' PUBLIC R/W)

SITE DRAINAGE FEATURES SHOWN HERE-ON ARE SCHEMATIC, ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE. FINAL DRAINAGE DESIGN WILL BE IN ACCORDANCE WITH APPLICABLE ORDINANCES.

MAP NOTE:

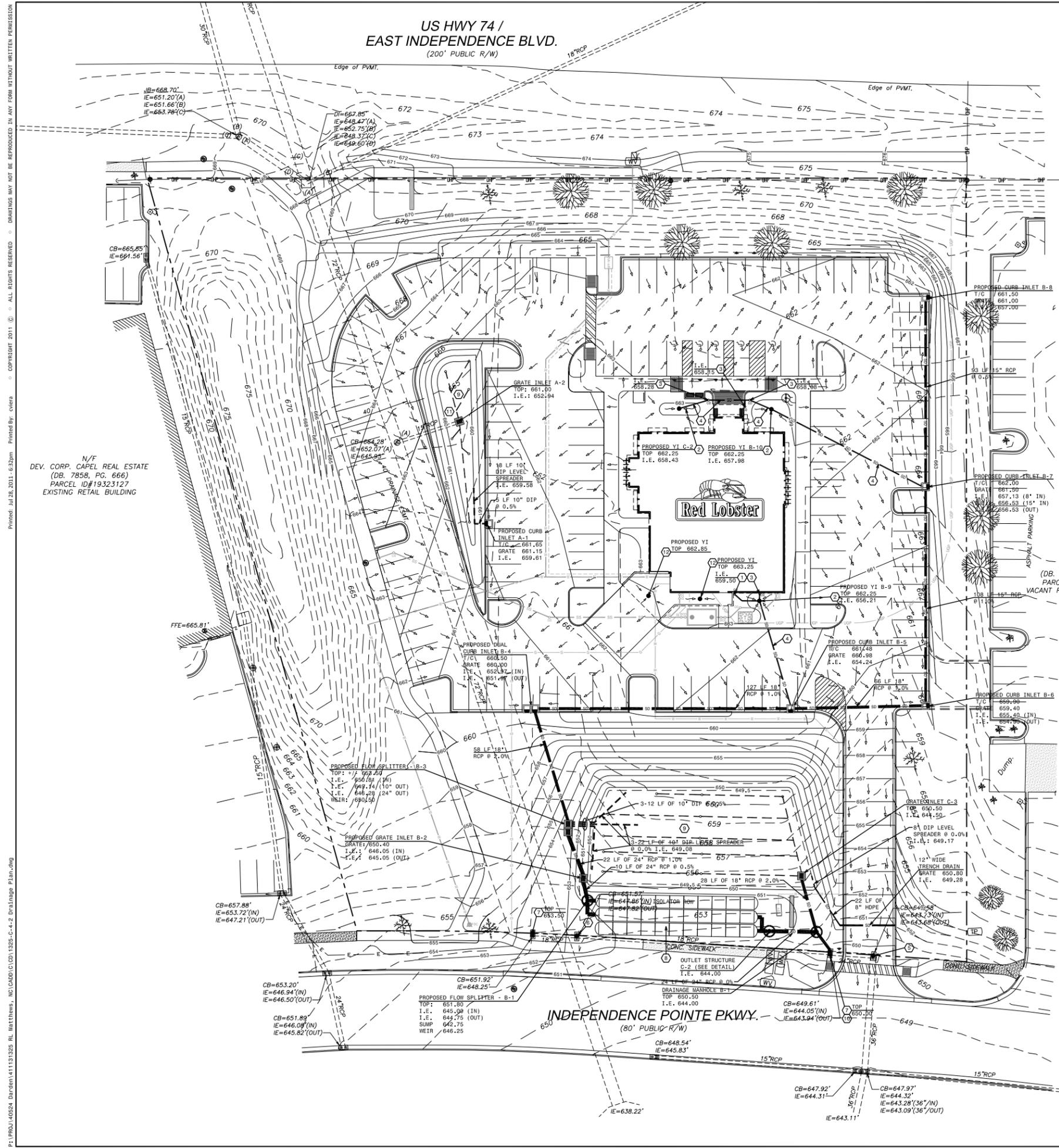
- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY MSP & ASSOCIATES, LAND SURVEYING, INC.
- TRANSFER OF SITE BENCHMARK(S) IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL ONLY BE COMPLETED BY A SURVEYOR LICENSED/REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING BENCHMARK PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. FIELD VERIFICATION CAN BE ACCOMPLISHED BY CHECKING A MINIMUM OF TWO FIXED OBJECTS DISPLAYED ON THE SURVEY (I.E., MANHOLE RIM, STORM GRATE, PIPE INVERTS, ETC.).

STORM DRAINAGE NOTES:

- SEE GENERAL NOTES, SHEET C1.1. SEE SPECIFICATIONS ON CS SHEETS.
- ALL RCP PIPE SHALL BE CLASS III REINFORCED CONCRETE PIPE WITH WATERTIGHT O-RING GASKETED JOINTS UNLESS OTHERWISE NOTED.
- ALL PVC STORM PIPE SHALL BE SDR-35 BELL & SPIGOT.
- ALL CORRUGATED PLASTIC PIPE (CPP) AND FITTINGS SHALL BE ADS #12, #11 OR APPROVED EQUAL WITH WATERTIGHT CONNECTIONS.
- LOCATIONS AND TOP ELEVATIONS OF INLETS AND STRUCTURES WILL BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE ENGINEER.
- INVERTS SHOWN ON PLAN DRAWING ARE PIPE INVERTS.
- SUBSURFACE DRAINAGE MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE.
- AS-BUILTS ARE REQUIRED FOR ALL DETENTION STRUCTURES (INCLUDING UNDERGROUND SYSTEMS) AND BMPs. AS-BUILT INFORMATION SHOULD INCLUDE LATITUDE AND LONGITUDE FOR CENTER OF MEASURE, AND INLET AND OUTLET INFORMATION FOR ALL STRUCTURES. ELEVATIONS ARE REQUIRED FOR ALL MEASURES AS WELL AS DIMENSIONS OF ALL MEASURES.
- A SIGNED AND SEALED SHOP DRAWING FROM THE MANUFACTURER OF THE SELECTED UNDERGROUND DETENTION SYSTEM IS REQUIRED. THE CONTRACTOR SHALL PROVIDE A COPY OF THE SHOP DRAWING TO HESLENBURG COUNTY FOR APPROVAL PRIOR TO INSTALLATION.
- MAINTENANCE RESPONSIBILITY OF ALL STORM DRAINAGE PIPING AND STRUCTURES SHALL BE AS FOLLOWS:  
DURING CONSTRUCTION: GENERAL CONTRACTOR  
AFTER CONSTRUCTION: OWNER

STORM DRAINAGE KEY NOTES:

- CONNECT DOWNSPOUT TO STORM PIPE WITH EXTERIOR DOWNSPOUT BOOT. INVERT AS SHOWN. SEE SHEET ARCHITECTURAL SHEETS FOR EXACT LOCATIONS. SEE DOWNSPOUT CONNECTION DETAIL, SHEET C6.1.
- 12" NYLOPLAST DRAIN BASIN WITH DOME COVER. TOP AND INVERT AS SHOWN.
- STORM DRAIN CLEANOUT. INVERT AS SHOWN. TOP SHALL MATCH PROPOSED GRADING. LOCATE IN LANDSCAPE AREAS WHERE POSSIBLE. PROVIDE PROTECTIVE CASTING WHERE INSTALLED IN PAVEMENT. SEE DETAIL, SHEET C6.1.
- 8" PVC ROOF DRAIN PIPING, SLOPE AS SHOWN BY INVERTS. MAINTAIN 1.0% MINIMUM.
- MODIFY EXISTING STRUCTURE. ADJUST ELEVATION TO FINISHED GRADE AND REPLACE GRATE WITH DRAINAGE MANHOLE TOP.
- CONVERT TOP TO MANHOLE.
- MODIFY EXISTING STRUCTURE. REMOVE EXISTING TOP AND REPLACE WITH GRATE INLET.
- PROPOSED UNDERGROUND DETENTION SYSTEM.
- PROPOSED RAIN GARDEN. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- CONNECT TO EXISTING DRAINAGE STRUCTURE.
- CONSTRUCT DOGHOUSE MANHOLE OVER EXISTING DRAINAGE LINE.
- 8" NYLOPLAST DRAINAGE STRUCTURE WITH HEAVY-DUTY GRATE. CONNECTION TO BUILDING DRAINAGE SYSTEM. SEE PLUMBING PLANS FOR DETAILS.

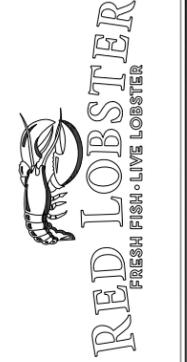


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N/F  
DEV. CORP. CAPEL REAL ESTATE  
(DB. 7858, PG. 666)  
PARCEL ID#19323127  
EXISTING RETAIL BUILDING

N/F  
BEFREIT INC.  
(DB. 10425, PG. 266)  
PARCEL ID#19323125  
VACANT RESTAURANT BUILDING

Hussey, Gay, Bell & DeYoung, Inc.  
Consulting Engineers  
474 WANDO PARK BOULEVARD, SUITE 201  
MOUNT PLEASANT, SC 29564  
PH: 843.849.7500 FAX: 843.849.7502  
www.HGBD.com  
HGBD PROJECT #411131325



Issue Date: 07-11-2011

REVISION INFORMATION	
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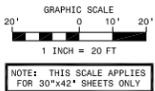
Restaurant #: 11R0016

**RED LOBSTER**  
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

**MATTHEWS, NC**

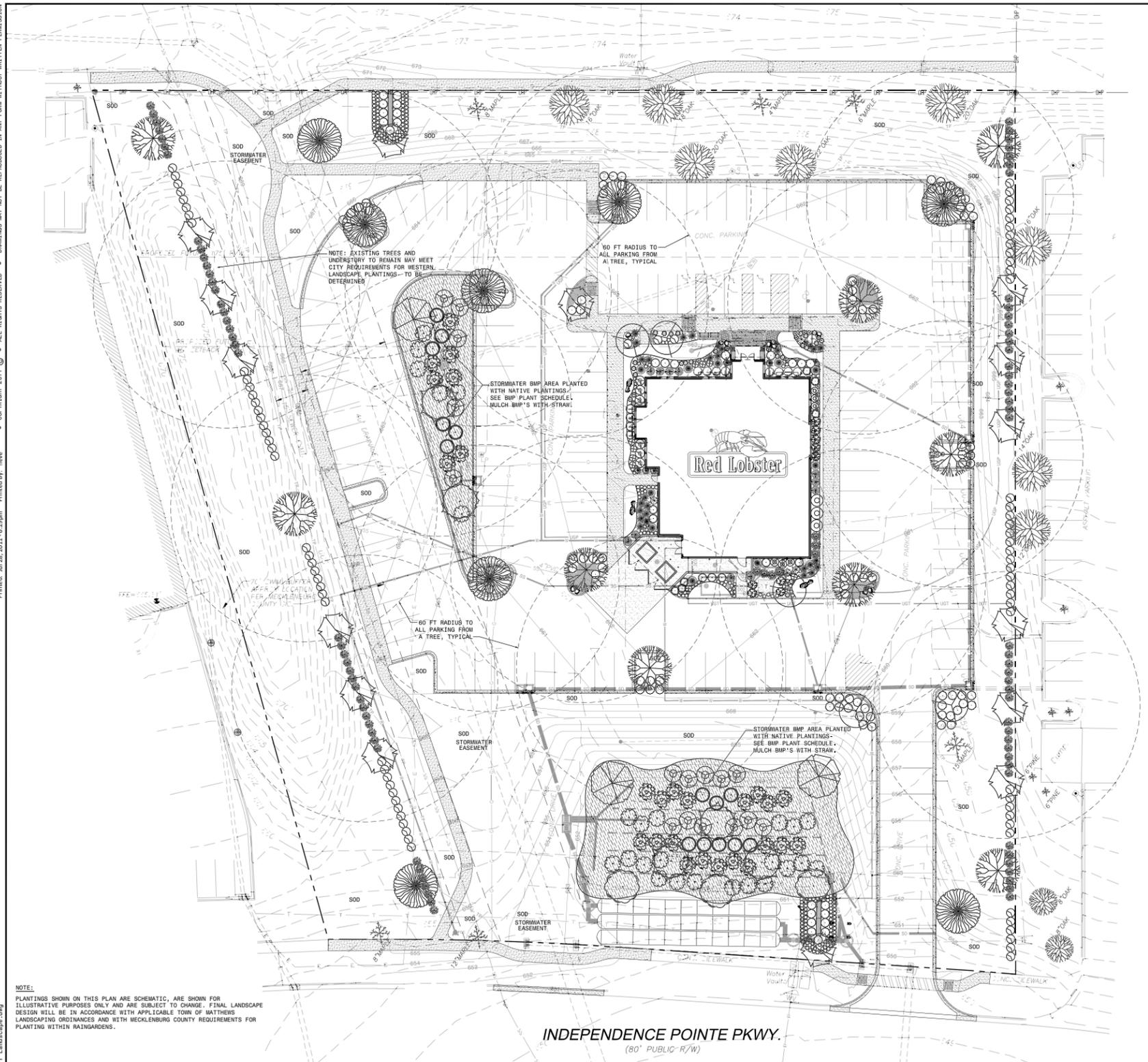
Drawing  
**SITE DRAINAGE PLAN**

**C4.2**



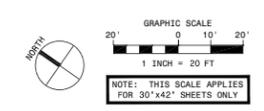


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**NOTE:**  
 PLANTINGS SHOWN ON THIS PLAN ARE SCHEMATIC, ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE. FINAL LANDSCAPE DESIGN WILL BE IN ACCORDANCE WITH APPLICABLE TOWN OF MATTHEWS LANDSCAPING ORDINANCES AND WITH MECKLENBURG COUNTY REQUIREMENTS FOR PLANTING WITHIN RAINGARDENS.

- CITY LANDSCAPE NOTES:**
- REQUIRED: 20% MATURE TREE CANOPY FOR ENTIRE SITE AREA, LESS AREA OF EASEMENTS, AS DEFINED IN LANDSCAPE REGULATIONS.  
 SITE AREA: 1140,250 SF  
 EASEMENT AREA - STORMWATER PLUS SANITARY SEWER: 422,300 SF  
 NET AREA SITE LESS EASEMENTS: 117,950 SF  
 REQUIRED TREE CANOPY: 20% X 117,950 = 23,590 SF REQUIRED MATURE CANOPY TREE DEFINED AS 2,000 SF PER TREE IN ORDINANCE  
 REQUIRED CANOPY TREES: 23,950 SF / 2,000 SF = 12 TREES MINIMUM  
 EXISTING TREES TO REMAIN: 11 PROPOSED CANOPY TREES: 1  
 TOTAL CANOPY TREES FOR SITE: 35 TREES X 2,000 = 70,000 SF CANOPY (EXCEEDS TREE CANOPY REQUIREMENT)
  - STREET FRONTAGE TREE REQUIREMENT: 1 CANOPY TREE / 40 LF EAST INDEPENDENCE BLVD: 410 LF FRONTAGE = 10 TREES: PROVIDED  
 INDEPENDENCE POINT PARKWAY: 280 LF FRONTAGE = 7 TREES: PROVIDED
  - PERIMETER PLANTINGS PER 50 LF: 1 TREE & 10 SHRUBS; TREES TO BE AT LEAST 50% CANOPY TREES  
 WEST SIDE: 400 LF = 8 TREES & 80 SHRUBS  
 EAST SIDE: 400 LF = 8 TREES & 80 SHRUBS
  - PARKING - ALL SPACES WITHIN 60 LF OF A TREE - PROVIDED, SEE 60 FT RADIUS CIRCLES ON PLAN VIEW
  - PARKING LOT: MINIMUM 1 TREE PER 10 PARKING SPACES  
 148 SPACES / 10 = 15 TREES, PROVIDED.



PLANT SCHEDULE (SITEWIDE PLANTINGS EXCLUDING BMP PLANTINGS)						
SYMBOL	ABBR	QNTY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
<b>TREES</b>						
	ACSA	8	ACER SACCHARUM SUGAR MAPLE	10'-11" 2" CAL	8&B	CANOPY TREE - SPECIMENS 5' CLEAR TRUNK
	ZESE	9	ZELCOVA SERRATA JAPANESE ZELCOVA	10'-11" 2" CAL	8&B	CANOPY TREE - SPECIMENS 5' CLEAR TRUNK
	BEN1	3	BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH	10'-11" 2" CAL	8&B	CANOPY TREE - SPECIMENS 5' CLEAR TRUNK
	PRUS	15	PRUNUS SUBHIRTELLA JAPANESE CHERRY	8'-10" 2" CAL	8&B OR CONT.	MEDIUM CANOPY TREE WITH BLOOM
	LAID	5	LAGERSTROEMIA INDICA 'DYNAMITE' DYNAMITE CREPE MYRTLE	8' HT	8&B OR CONT.	UNDERSTORY TREE RED BLOOM
	THOC	11	THILIA OCCIDENTALIS 'EMERALD GREEN' EMERALD GREEN ARBORVITAE	8'-10' HT	8&B	COLUMNAR EVERGREEN TREE
	CRKJ	2	CRYPTOMERIA JAPONICA 'BLACK DRAGON' BLACK DRAGON JAPANESE CEDAR	4-5 FT	8&B OR CONT.	SPECIMEN EVERGREEN DWARF TREE
<b>SHRUBS</b>						
	ILCO	81	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	15' HT	3 GAL	GLOSSY EVERGREEN SHRUB
	ILCO	6	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	20'-24" HT	7 GAL	GLOSSY EVERGREEN SHRUB
	ILGL	6	ILEX GLABRA 'COMPACTA' DWARF ENGLISH HAWTHORN	24'-30" HT	7 GAL	EVERGREEN COMPACT SHRUB
	JUPF	4	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER	24'-30" HT	7 GAL	EVERGREEN SHRUB
	ILPA	3	ILLICIUM PARVIFLORUM ANISE	30" HT	7 GAL	FLOWERING EVERGREEN LARGE SHRUB
	LOCH	11	LOROPETALUM CHINENSE 'RUBRUM' RED LOROPETALUM	30" HT	7 GAL	EVERGREEN FLOWERING SHRUB W. BURGUNDY FOLIAGE
	HAND	7	HANDSOME DOMESTICA HEAVENLY BAMBOO	36" HT	7 GAL	COLORFUL EVERGREEN ORNAMENTAL
	ABRC	126	ABELIA X HYBRIDS GLOSSY ABELIA HYBRIDS	18" HT	3 GAL	FLOWERING EVERGREEN SHRUB MATURE SIZE 3'-4' HEIGHTS
	AZHY	84	AZALEA X. HYBRIDA EVERGREEN HYBRID AZALEAS	15" HT	3 GAL	EVERGREEN-VARIETIES TO REACH 4 FT HT AT MATURITY
	AZHY	7	AZALEA X. HYBRIDA EVERGREEN HYBRID AZALEAS	24" HT	7 GAL	EVERGREEN-VARIETIES TO REACH 4 FT HT AT MATURITY
	ILCS	5	ILEX CRENATA 'SKY PENCIL' SKY PENCIL JAPANESE HOLLY	42" HT	5 GAL	EVERGREEN COLUMNAR SHRUB
	ALJA	8	ALIBURIA JAPONICA COMPACTUM COMPACT ALIBURIA	30" HT	7 GAL	EVERGREEN SHRUB
	PRUL	3	PRUNUS LAUROCARISUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL	18"-24" HT	7 GAL	THICK EVERGREEN SHRUB
	VITI	9	VIBURNUM TINUS LAURUSTINUS VIBURNUM	30" HT	7 GAL	FLOWERING EVERGREEN SHRUB
	ROSA	9	ROSA 'DOUBLE KNOCKOUT' DOUBLE KNOCKOUT SHRUB ROSE	12"-18" HT	3 GAL	RED BLOOMING ROSE SHRUB
	JUHO	25	JUNIPERUS CONFERTA 'BLUE PACIFIC' BLUE PACIFIC JUNIPER	18" SPR	3 GAL	EVERGREEN ORNAMENTAL GROUNDCOVER
	CALA	6	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	18"	3 GAL	UPRIGHT SPECIMEN GRASS
	MULC	28	MULLENBERGIA CAPILLARIS MULLY GRASS	12" HT/SPR	1 GAL	SPECIMEN GRASS W ROSE PLUMES
<b>GROUND COVER</b>						
	LIMU	233	LIRIOPE MUGICATA 'SUPER BLUE' SUPER BLUE LILYTURF	10'-15" HT 18" O.C.	4" POT	EVERGREEN FLOWERING GROUNDCOVER
	COLA	12	COREOPSIS LANCEOLATA LANEALF COREOPSIS	12" HT	1 GAL	YELLOW FLOWERING PERENNIAL
	VIMA	165	VINCA MAJOR PERIWINKLE	12" SPR 15" O.C.	4" POT	THICK GROUNDCOVER
	ANNU	60	SEASONAL ANNUALS	9" O.C.	4" POT	SEE DETAIL L-04 BEST AVAILABLE
	BLD	11	GRANITE BOULDERS, 20"-30" SIZE ROUNDED GRANITE - CLUSTERS OF 2 OR 3			BURY 1/3 OF STONE FOR NATURAL LOOK
	DLR	3	DECORATIVE LAWN ROCK 5'-8" (L) 1.5'-2" (W) 10'-15" (H)			SEE DETAIL L-06
METAL PLANTING BED EDGE (AT BLDG AREA AND WHERE NOTED ONLY) OUTER AND BUFFER PLANTINGS MULCH EDGES TO BE DUG TRENCH TYPE						
SEE DETAIL L-02						
SOD LOCALLY AVAILABLE CERTIFIED HYBRID BERMOUDAGRASS - MATCH EXISTING DEVELOPMENT VARIETY						
DENSE, THICK SOD						
MULCH DOUBLE SHREDED HARDWOOD MULCH- DEFAULT MULCH- PLACE IN ANNUALS, AND ALL BEDS AWAY FROM BLDG EXCEPT AS NOTED						
APPLIED 2"-3" THICK						
RIVER ROCK 2"-3" WASHED RIVER ROCK APPLIED AT 3'-5" THICKNESS PLACE IN BEDS ADJACENT TO BUILDING, NO SUBSTITUTIONS						
SEE DETAIL L-01						
<b>PLANT SCHEDULE NOTES:</b>						
1. TOTAL NUMBER OF PLANTS SHALL BE VERIFIED ON THE LANDSCAPE PLAN. IF PLANT TOTAL DIFFERS FROM THE SCHEDULE THE PLAN SHALL GOVERN.						
2. ALL TREES LOCATED OUTSIDE OF PLANTING BEDS SHALL BE MULCHED, 4" THICK, IN A 4" DIAMETER CIRCLE AROUND THE TRUNK OF THE TREE.						
3. ALL DISTURBED AREAS NOT PLANTED TO BE SODDED EXCEPT WHERE OTHERWISE NOTED. SEEDING IS NOT ACCEPTABLE.						
4. PLANTS WILL BE INSPECTED FOR SIZE AND CONDITION. PLANTS NOT PER SPECIFIED CONTAINER OR HEIGHT WILL BE REJECTED AND REPLACED. HEIGHTS SPECIFIED ARE A MINIMUM-CONTAINER SIZE MUST BE PROVIDED AS SPECIFIED.						

PLANT SCHEDULE (BMP PLANTINGS ONLY)						
SYMBOL	ABBR	QNTY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
<b>TREES</b>						
	ACRU	3	ACER RUBRUM RED MAPLE	8'-10" 2" CAL	8&B	NATIVE CANOPY TREE BMP PLANTING
	SANI	5	SALIX NIGRA BLACK WILLOW	8'-10" 2" CAL	8&B	NATIVE CANOPY TREE BMP PLANTING
<b>SHRUBS</b>						
	CORA	26	CORNUS AMOMUM SILKY DOGWOOD	36" HT	8&B OR CONT.	NATIVE DOGWOOD SHRUB/TREE BMP PLANTING
	CEPD	26	CERPHANTHUS OCCIDENTALIS BUTTONBUSH	36" HT	8&B OR CONT.	NATIVE FLOWERING SHRUB BMP PLANTING
	CALA	16	CALLICORPA AMERICANA AMERICAN BEAUTYBERRY	36" HT	8&B OR CONT.	NATIVE FLOWERING SHRUB BMP PLANTING
	ILED	14	ILEX DECIDUA DECIDUOUS HOLLY	36" HT	8&B OR CONT.	NATIVE WETLAND SHRUB BMP PLANTING
<b>GROUND COVER</b>						
	CAS1	9500	CAREX STRICTA TUSSOCK SEDGE	2" DIAM X 5" PLUGS	12" O.C.	NATIVE WETLANDS GRASS BMP PLANTING



Hussey, Gay, Bell & DeYoung, Inc.  
 Consulting Engineers  
 474 WANDO PARK BOULEVARD, SUITE 201  
 MOUNT PLEASANT, SC 29464  
 PH: 843.849.7500 FAX: 843.849.7502  
 www.HGBD.com  
 HGBD PROJECT # 411131325



Issue Date: 07-11-2011

REVISION INFORMATION	

Restaurant #: 11R0016

RED LOBSTER  
 9700 E. INDEPENDENCE BLVD  
 MATTHEWS, NC 28105

MATTHEWS, NC

Drawing  
 SITE  
 LANDSCAPE  
 PLAN

L1.1



Front Elevation

- E-PT-1 BENJAMIN MOORE PAINT: AURA SERIES 2132-10 (BLACK) - SATIN #631
- E-PT-2 BENJAMIN MOORE PAINT: AURA SERIES 869 (OXFORD WHITE) SATIN #631
- E-PT-3 BENJAMIN MOORE PAINT: AURA SERIES HC-168 (CHELSEA GREY) SATIN #631
- E-PT-4 BENJAMIN MOORE PAINT: AURA SERIES RME-26 (CLASSIC BURGUNDY) SATIN #631



Right Elevation



Matthews, NC  
July 29, 2011





Left Elevation

- E-PT-1 BENJAMIN MOORE PAINT: AURA SERIES 2132-10 (BLACK) - SATIN #631
- E-PT-2 BENJAMIN MOORE PAINT: AURA SERIES 869 (OXFORD WHITE) SATIN #631
- E-PT-3 BENJAMIN MOORE PAINT: AURA SERIES HC-168 (CHELSEA GREY) SATIN #631
- E-PT-4 BENJAMIN MOORE PAINT: AURA SERIES RME-26 (CLASSIC BURGUNDY) SATIN #631



Rear Elevation

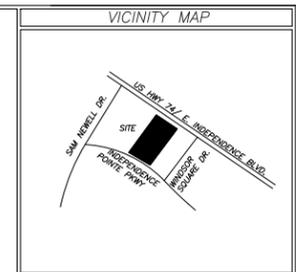
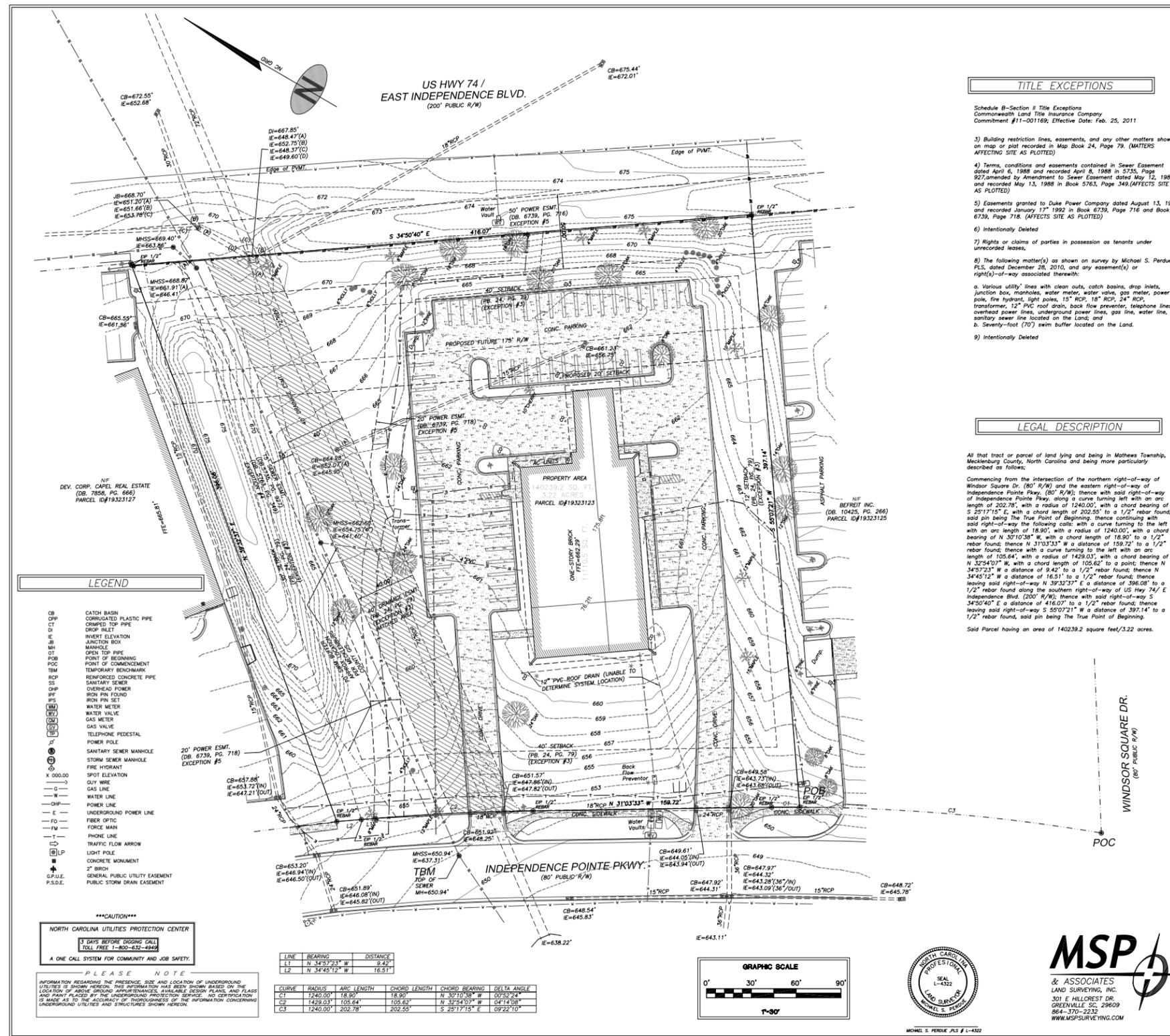


Matthews, NC  
July 29, 2011



**SUPERSEDED**

2011-567  
7/1/2011



**SHEET # C 1.2**

4/26/11 Updated Exception 9  
4/11/11 Updated Title Commitment

ALTA/ACSM LAND TITLE SURVEY  
FOR

**GMRI, Inc.**

CITY: MATHEWS COUNTY: MECKLENBURG STATE: NORTH CAROLINA  
MATHEWS TOWNSHIP

DATE OF SURVEY: 12/28/10 SCALE: 1:30  
FIELD WORK: MSP DRAWN BY: MSP REVIEWED BY: MSP  
MSP FILE: MAT05 MSP JOB#: 10544



**MSP**  
& ASSOCIATES  
LAND SURVEYING, INC.  
301 E. HILLCREST DR.  
GREENVILLE, SC 29609  
864-370-2232  
WWW.MSPSURVEYING.COM

US HWY 74 /  
EAST INDEPENDENCE BLVD.  
(200' PUBLIC R/W)

**REZONING CONDITIONS**

- BUILDING SHALL BE FOR RESTAURANT USE AND SHALL BE LIMITED TO 10,000 SF.
- SIGNAGE SHALL MEET APPLICABLE TOWN OF MATTHEWS ORDINANCES.
- LANDSCAPING SHALL MEET APPLICABLE TOWN OF MATTHEWS ORDINANCES, INCLUDING 20% TREE CANOPY REQUIREMENTS.
- SITE LIGHTING SHALL MEET APPLICABLE TOWN OF MATTHEWS ORDINANCES.
- IF EXTERIOR CHANGES TO THE STRUCTURE ARE DESIRED BY THE OWNER AT ANY TIME IN THE FUTURE, THE OWNER MAY APPLY TO THE TOWN BOARD FOR ELEVATION-ONLY APPROVAL.

**MAP NOTE:**

- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY MSP & ASSOCIATES, LAND SURVEYING, INC.
- TRANSFER OF SITE BENCHMARK(S) IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL ONLY BE COMPLETED BY A SURVEYOR LICENSED/REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING BENCHMARK PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. FIELD VERIFICATION CAN BE ACCOMPLISHED BY CHECKING A MINIMUM OF TWO FIXED OBJECTS DISPLAYED ON THE SURVEY (I.E. MANHOLE RIM, STORM GRATE, PIPE INVERTS, ETC.).

**PAVING AND MARKING NOTES:**

- SEE GENERAL NOTES, SHEET C1.1. SEE SPECIFICATIONS ON CS SHEETS.
- SEE SITE DIMENSIONAL CONTROL PLAN FOR LAYOUT INFORMATION.
- ALL PAVEMENT SECTION MATERIALS AND INSTALLATION SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
- PAINTED PARKING STRIPING SHALL BE 4" WIDE WHITE STRIPES AND BE LOCATED AS SHOWN ON THE PLANS. DIRECTIONAL STRIPING SHALL BE PAINTED WHITE. PAINT AND ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).
- ALL PAINTED PARKING AREAS SHALL RECEIVE TWO COATS OF STATE DEPARTMENT OF TRANSPORTATION APPROVED PAINT.
- ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE OF THE THERMOPLASTIC OR EPOXY TYPE PER THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).

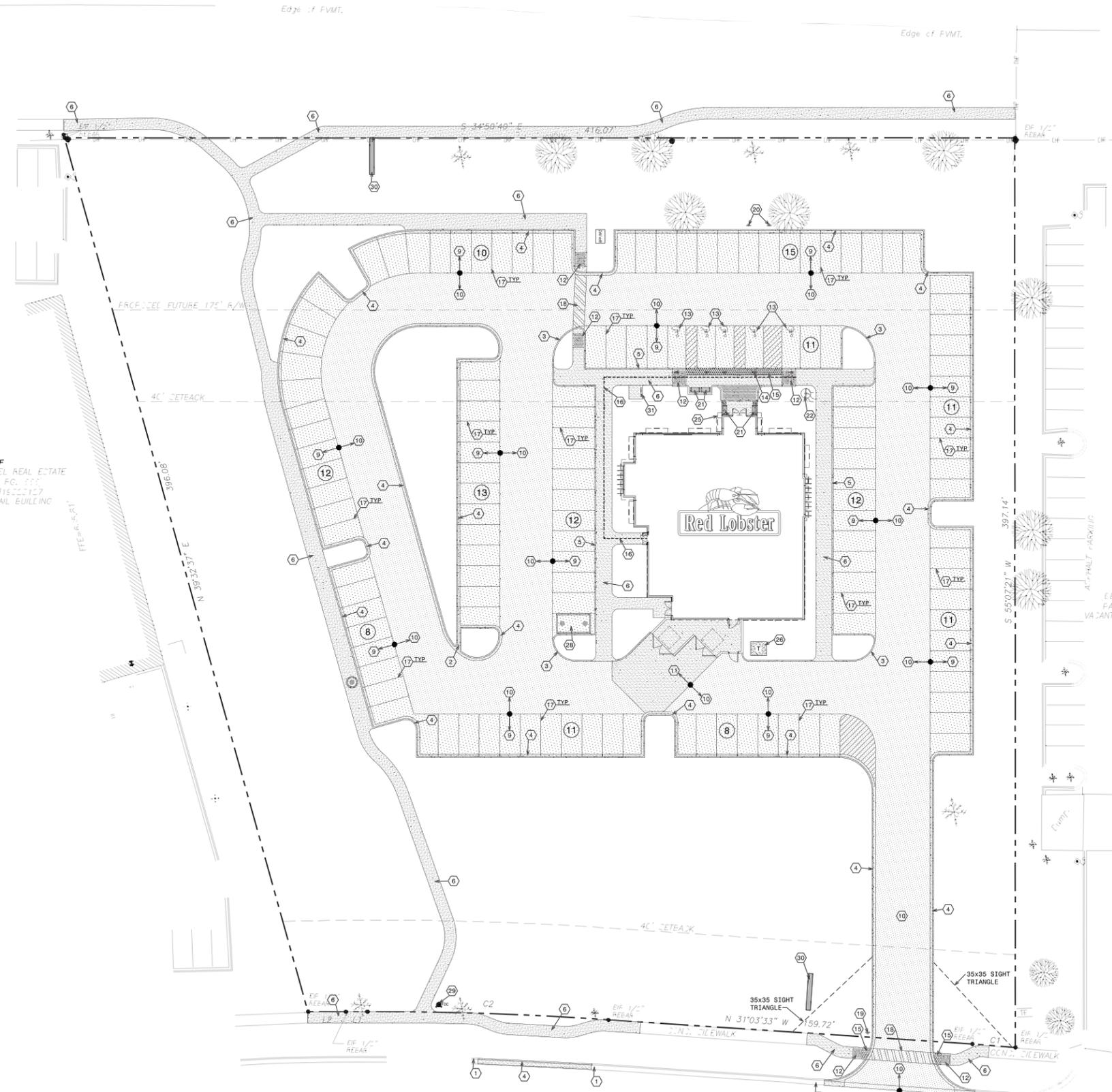
**SITE DATA:**

SITE AREA 3.22 ACRES  
 SITE ADDRESS 9700 EAST INDEPENDENCE BOULEVARD  
 MATTHEWS, NC 28105  
 PARCEL # 193-23-123  
 ZONING  
 EXISTING 1-1(CD) (INDUSTRIAL CONDITIONAL)  
 PROPOSED 8-1(CD) (BUSINESS CONDITIONAL)  
 BUILDING AREA 5,880 SF +/-  
 BUILDING HEIGHT  
 MAX ALLOWED 40'  
 PROVIDED 28' +/- HIGHEST POINT +  
 18' +/- PARAPET \*  
 BUILDING SETBACK REQUIRED PROVIDED  
 FRONT 40' 40'  
 SIDES 0' N/A  
 REAR 40' 40'  
 PARKING - VEHICULAR  
 REQUIRED 89 SPACES  
 1 SPACE / 3 SEATS \* 220 SEATS +  
 1 SPACE / 2 EMPL. \* 30 EMPL.  
 PROVIDED 134 SPACES INCLUDING SPACES WITHIN TRANS R/W  
 105 SPACES EXCLUDING SPACES WITHIN TRANS R/W  
 PARKING - BICYCLE  
 REQUIRED 5 SPACES  
 5% OF VEHICULAR SPACES \* 89 SPACES  
 PROVIDED 5 SPACES  
 IMPERVIOUS AREA  
 MAX. ALLOWED N/A  
 PROVIDED XXX ACRES XXX%  
 \* BUILDING INFORMATION IS APPROXIMATE AND PROVIDED FOR INFORMATION ONLY. REFER TO ARCHITECTURAL PLANS.

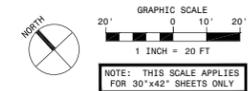
**SITE PLAN KEY NOTES: (XX)**

- EXISTING CONCRETE CURB / CURB AND GUTTER TO REMAIN.
- CONCRETE FLUME.
- STANDARD 6" CONCRETE CURB. SEE DETAIL, SHEET C6.1.
- CONCRETE CURB AND GUTTER. SEE DETAIL, SHEET C6.1.
- THICKENED EDGE CONCRETE WALK. SEE DETAIL, SHEET C6.1.
- CONCRETE WALK. SEE DETAIL, SHEET C6.1.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- NOT USED
- STANDARD DUTY ASPHALT PAVEMENT. SEE DETAIL, SHEET C6.1.
- HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL, SHEET C6.1.
- CONCRETE PAVEMENT. SEE DETAIL, SHEET C6.1.
- ACCESSIBLE SIDEWALK RAMPS. SEE SP SHEETS FOR DETAILS.
- ACCESSIBLE PARKING AREA. SEE SP SHEETS FOR DETAILS.
- ACCESSIBLE PARKING SIGNAGE AND BOLLARD. 5 TOTAL. SEE SP SHEETS FOR DETAILS.
- DETECTABLE WARNING SURFACE. SEE SP SHEETS FOR DETAILS.
- INDICATES REQUIRED HANDICAP ACCESSIBLE ROUTES. ALL ONSITE AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS, EVEN IF NOT INDICATED AS A REQUIRED ROUTE.
- PAINTED PARKING STRIPING, WHITE, TYPICAL.
- PAINTED CROSSWALK. MATCH ACCESSIBLE PARKING ACCESS AISLE STRIPING. SEE SP SHEETS FOR DETAILS.
- STOP SIGN. SEE DETAIL, SHEET C6.1.
- TO-GO SIGN. 2 TOTAL. SEE SP SHEETS FOR DETAILS.
- WAITING BENCH. 4 TOTAL. PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
- FLAG POLE AND BASE. SEE SP SHEETS FOR DETAILS.
- LIGHT POLE AND BASE, TYPICAL. SEE SP SHEETS FOR DETAILS.
- LANDSCAPE LIGHTING, TYPICAL. SEE SP SHEETS FOR DETAILS.
- BUILDING OVERHANG / AWNING / TRELLIS, TYPICAL. SEE ARCHITECTURAL PLANS.
- PREFERRED LOCATION OF PAD MOUNTED ELECTRIC TRANSFORMER. SEE SHEET C5.1.
- PREFERRED LOCATION OF NATURAL GAS METER. SEE SHEET C5.1.
- APPROXIMATE LOCATION OF GREASE TRAP AND SAMPLING MANHOLE. SEE SHEET C5.1.
- APPROXIMATE LOCATION OF FIRE HYDRANT, REMOTE FIRE DEPARTMENT CONNECTION AND POST-INDICATOR VALVES. SEE SHEET C5.1.
- FREESTANDING SIGN. PROVIDED, INSTALLED AND PERMITTED BY SIGN CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE STONE VENEER ON BASE IF APPLICABLE. EXACT LOCATION OF SIGN TO BE THE RESPONSIBILITY OF THE INSTALLER. SEE SP SHEETS AND SIGN PLANS.
- BIKE RACK. FUSION COATING, PART #LBRSPING. 5 BIKE CAPACITY. COLOR BLACK.

SIGNAGE SHOWN HERE-ON IS SCHEMATIC, IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND IS SUBJECT TO CHANGE. SIGNAGE WILL BE IN ACCORDANCE WITH TOWN OF MATTHEWS ORDINANCES.

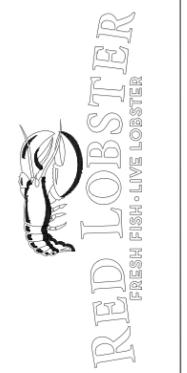


INDEPENDENCE POINTE PKWY.  
(80' PUBLIC R/W)



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MOUNT PLEASANT, SC 29564  
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www.HGBD.com  
HGBD PROJECT # 411131325



Issue Date: 07-11-2011

REVISION INFORMATION	
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Restaurant #: 11R0016

**RED LOBSTER**  
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

Drawing  
**CIVIL  
SITE PLAN**

**C3.1**

US HWY 74 /  
EAST INDEPENDENCE BLVD.  
(200' PUBLIC R/W)

Edge of FVMT.

Edge of FVMT.

**MAP NOTE:**

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**LAYOUT NOTES:**

1. SEE GENERAL NOTES, SHEET C1.1. SEE SPECIFICATIONS ON CS SHEETS.
2. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
3. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS TO CURB ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. (I.E. ALL DIMENSIONS TO MOUNTABLE CURB ARE TO THE EDGE OF PAVEMENT)
5. ALL DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE HORIZONTAL MEASUREMENTS.
7. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
8. SIDEWALKS ARE TO INTERSECT WITH A 3' RADIUS UNLESS OTHERWISE NOTED.



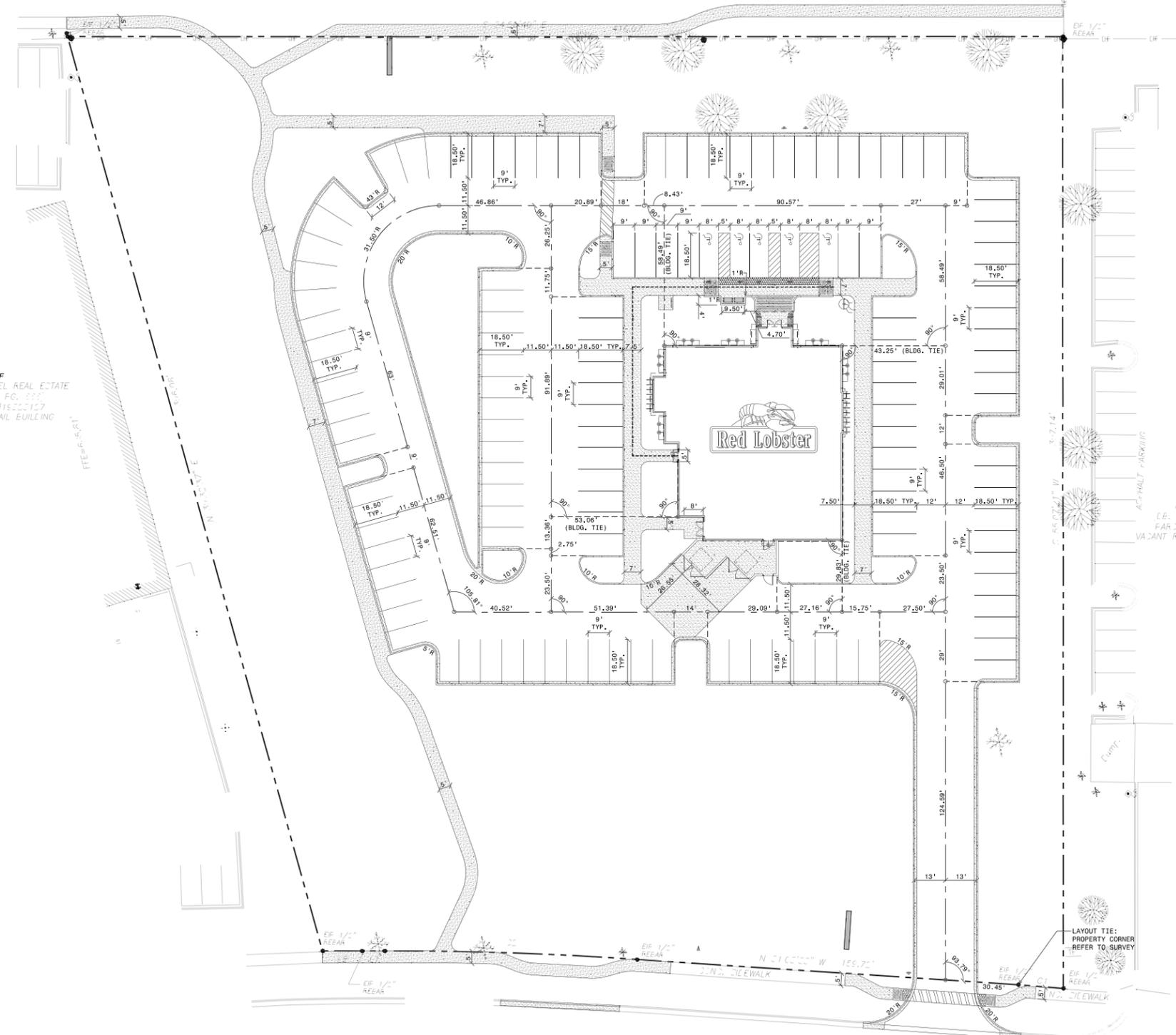
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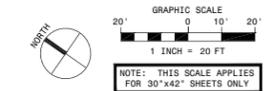
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N/F  
DEV. CORP. SAFEL REAL ESTATE  
DE. 7103, PG. 222  
PARCEL ID#1522127  
EXISTING RETAIL BUILDING

N/F  
EFFREIT INC.  
EE. 10425, PG. 222  
PARCEL ID#1522122  
EXISTING RESTAURANT BUILDING



INDEPENDENCE POINTE PKWY.  
(80' PUBLIC R/W)



Issue Date:	07-11-2011
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Restaurant #: 11R0016

**RED LOBSTER**  
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

**MATTHEWS, NC**

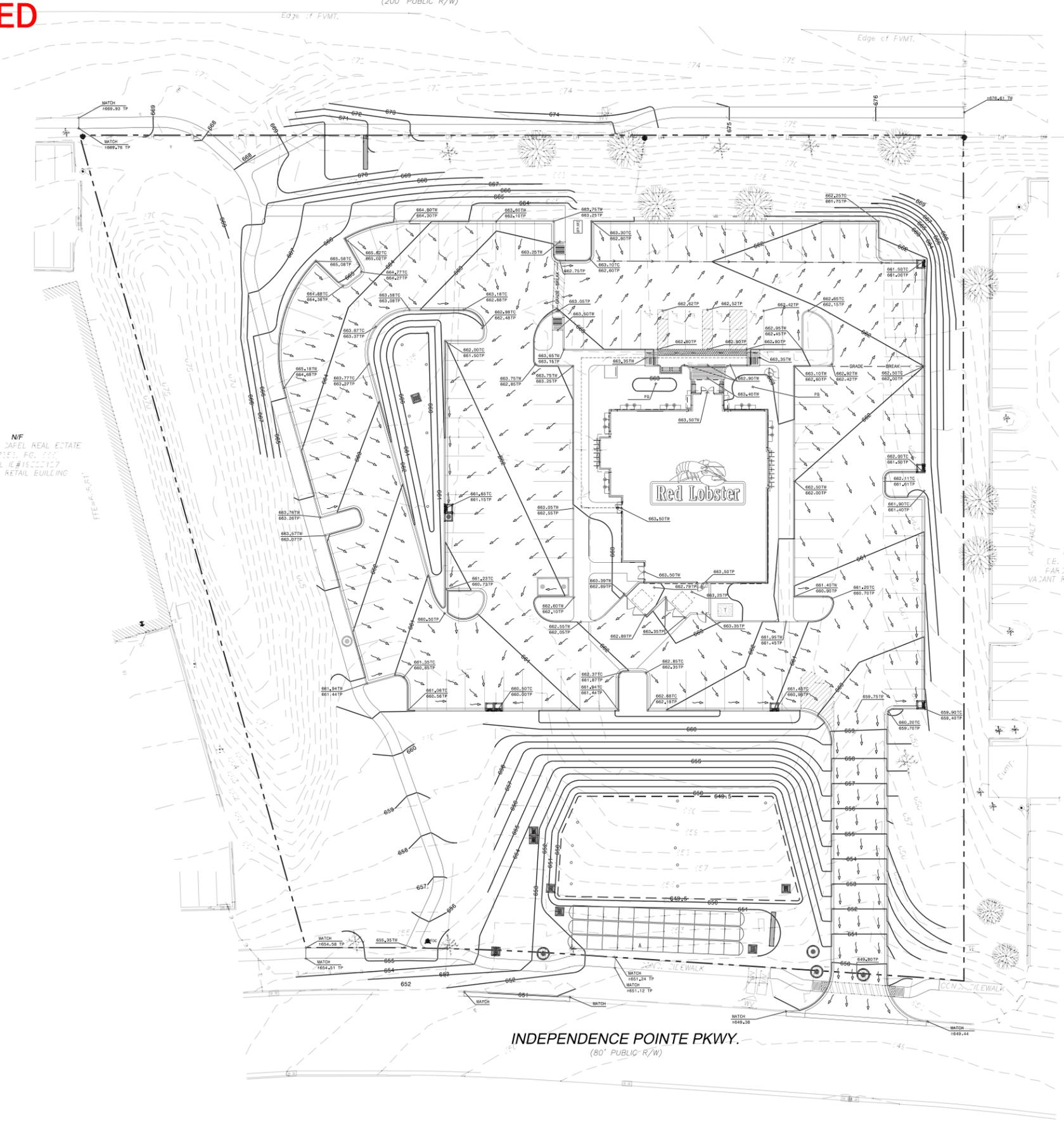
Drawing  
**SITE  
DIMENSIONAL  
CONTROL PLAN**

**C3.2**

**SUPERSEDED**

US HWY 74 /  
EAST INDEPENDENCE BLVD.  
(200' PUBLIC R/W)

P:\PROJ\40524 Darden\411131225 RL Matthews, NC\CAADD\03\031325-C-4-1 Grading Plan.dwg  
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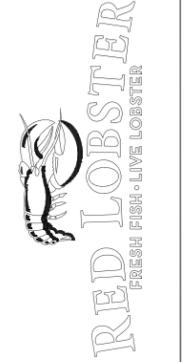
**GRADING NOTES:**

- SEE GENERAL NOTES, SHEET C1.1. SEE SPECIFICATIONS ON CS SHEETS.
- ALL LAND DISTURBING OPERATIONS SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL HORIZONTAL AND VERTICAL SURVEY CONTROLS.
- CONTRACTOR SHALL REMOVE ALL STRIPPINGS, DEBRIS AND EXCESS EXCAVATED MATERIALS FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND GRADING INCLUDING FURNISHING OFF-SITE BORROW AS REQUIRED TO MEET PLAN GRADES.
- CONTRACTOR SHALL UNIFORMLY GRADE BEHIND CURBS, BUILDINGS, ROADS, ETC. TO MATCH EXISTING GRADES. LANDSCAPE ISLANDS SHALL BE GRADED TO DRAIN OVER CURBS.
- GRADE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE TO EXISTING OR NEW DRAINAGE FACILITIES.
- SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING SERVICES REPORT #0511284 BY PSI, INC. DATED JANUARY 19, 2011 AND ALL SUPPLEMENTAL REPORTS. IF A CONFLICT ARISES BETWEEN CIVIL DOCUMENTS AND THE GEOTECHNICAL REPORT, THE MORE STRINGENT SHALL GOVERN.
- AS REFERENCED IN THE GEOTECHNICAL REPORT, THE CONTRACTOR SHALL BE AWARE OF THE PRESENCE OF HIGH PLASTICITY SOILS IN THE UPPER STRATUM OF THE SITE. PER SECTION 3.3 OF THE REPORT, THESE SOILS SHALL BE REMOVED AND REPLACED TO PROVIDE A 24" THICK BRIDGE BETWEEN THE REMAINING SOILS AND THE FLOOR SLAB. SIMILARLY, PER SECTION 3.9 OF THE REPORT, THESE SOILS SHALL BE REMOVED AND REPLACED TO PROVIDE AN 18" THICK BRIDGE BETWEEN THE REMAINING SOILS AND THE STONE BASE IN PAVEMENT AREAS. REPLACEMENT SOILS SHALL MEET THE REQUIREMENTS OF ENGINEERED FILL PER SECTION 3.3 OF THE REPORT. THE SITE HAS BEEN DESIGNED WITH A FILL SCENARIO TO THE EXTENT POSSIBLE IN ORDER TO MINIMIZE THIS UNDERCUT AND REPLACEMENT, HOWEVER A CERTAIN AMOUNT WILL BE REQUIRED. THIS WORK SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID PRICE FOR EARTHWORK.

**ACCESSIBILITY NOTES:**

- ALL WORK SHALL MEET THE GUIDELINES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), THE NORTH CAROLINA BUILDING CODE, THE ICC/ANSI STANDARD 117-1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, AND ANY ADDITIONAL STATE OR LOCAL REQUIREMENTS REGARDING ACCESSIBILITY. THE LATEST EDITION OF EACH GUIDELINE SHALL GOVERN.
- THERE SHALL BE A 5' "LEVEL" LANDING AREA AT THE EXTERIOR OF ALL DOORWAYS. FOR THIS PURPOSE, "LEVEL" SHALL MEAN THE SLOPE IN ANY DIRECTION, INCLUDING THE DIAGONALS, SHALL NOT EXCEED 1:50 (2.0%).
- CONTRACTOR SHALL ENSURE THAT THE DOORWAY THRESHOLDS MEET ACCESSIBILITY REQUIREMENTS.
- LONGITUDINAL (RUNNING) SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5.0%).
- CROSS SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED 1:50 (2.0%).
- SLOPES IN ANY DIRECTION, INCLUDING THE DIAGONALS, WITHIN THE ACCESSIBLE PARKING SPACES OR ACCESS AISLES SHALL NOT EXCEED 1:50 (2.0%).
- ALL EXTERIOR CONCRETE SURFACES SHALL RECEIVE A HEAVY BROOM FINISH FOR PEDESTRIAN SLIP-RESISTANCE.

Hussey, Gay, Bell & DeYoung, Inc.  
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Issue Date: 07-11-2011

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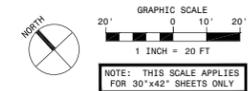
Restaurant #: 11R0016

**RED LOBSTER**  
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

MATTHEWS, NC

Drawing  
**SITE  
GRADING  
PLAN**

**C4.1**



US HWY 74 /  
EAST INDEPENDENCE BLVD.  
(200' PUBLIC R/W)

Edge of FVMT.

Edge of FVMT.

SITE DRAINAGE FEATURES SHOWN HERE-ON ARE SCHEMATIC, ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE. FINAL DRAINAGE DESIGN WILL BE IN ACCORDANCE WITH APPLICABLE ORDINANCES.

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**STORM DRAINAGE NOTES:**

1. SEE GENERAL NOTES, SHEET C1.1. SEE SPECIFICATIONS ON CS SHEETS.
2. ALL RCP PIPE SHALL BE CLASS III REINFORCED CONCRETE PIPE WITH WATERTIGHT O-RING GASKETED JOINTS UNLESS OTHERWISE NOTED.
3. ALL PVC STORM PIPE SHALL BE SDR-35 BELL & SPIGOT.
4. ALL CORRUGATED PLASTIC PIPE (CPP) AND FITTINGS SHALL BE ADS N-12, HT OR APPROVED EQUAL WITH WATERTIGHT CONNECTIONS.
5. LOCATIONS AND TOP ELEVATIONS OF INLETS AND STRUCTURES WILL BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE ENGINEER.
6. INVERTS SHOWN ON PLAN DRAWING ARE PIPE INVERTS.
7. MAINTENANCE RESPONSIBILITY OF ALL STORM DRAINAGE PIPING AND STRUCTURES SHALL BE AS FOLLOWS:  
DURING CONSTRUCTION: GENERAL CONTRACTOR  
AFTER CONSTRUCTION: OWNER

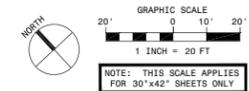
**STORM DRAINAGE KEY NOTES:**

1. CONNECT DOWNSPOUT TO STORM PIPE WITH EXTERIOR DOWNSPOUT BOOT. INVERT AS SHOWN. SEE SHEET A3.1 FOR EXACT LOCATIONS. SEE DOWNSPOUT CONNECTION DETAIL, SHEET C6.1.
2. 12" NYLOPLAST DRAIN BASIN WITH DOMED COVER. TOP AND INVERT AS SHOWN.
3. STORM DRAIN CLEANOUT. INVERT AS SHOWN. TOP SHALL MATCH PROPOSED GRADING. LOCATE IN LANDSCAPE AREAS WHERE POSSIBLE. PROVIDE PROTECTIVE CASTING WHERE INSTALLED IN PAVEMENT. SEE DETAIL, SHEET C6.1.
4. 8" PVC ROOF DRAIN PIPING. SLOPE AS SHOWN BY INVERTS. MAINTAIN 1.0%, MINIMUM.
5. DUMPSTER DRAIN CONNECTED TO SANITARY SEWER SYSTEM VIA GREASE INTERCEPTOR. SEE SHEETS P1.1 AND P2.1 FOR DRAIN SPECIFICATION, LOCATION AND PIPING BACK TO BUILDING GREASE WASTE PIPING.
6. UNDERDRAIN. MATCH SLOPE OF PAVEMENT. MAINTAIN 1.0%, MINIMUM. SEE DETAIL, SHEET C6.1.
7. PROPOSED RAIN GARDEN.
8. PROPOSED UNDERGROUND DETENTION SYSTEM.

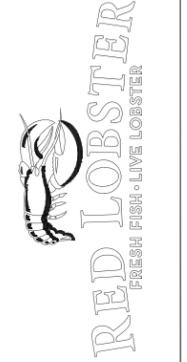
N/F  
LEV. CORP. SAHEL REAL ESTATE  
E.E. 7123, PG. 222  
PARCEL #18222127  
EXISTING RETAIL BUILDING

N/F  
EEFREIT INC.  
E.E. 10425, PG. 222  
PARCEL #18222128  
EXISTING RESTAURANT BUILDING

INDEPENDENCE POINTE PKWY.  
(80' PUBLIC R/W)



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Restaurant #: 11R0016

**RED LOBSTER**  
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

**MATTHEWS, NC**

Drawing  
**SITE DRAINAGE PLAN**

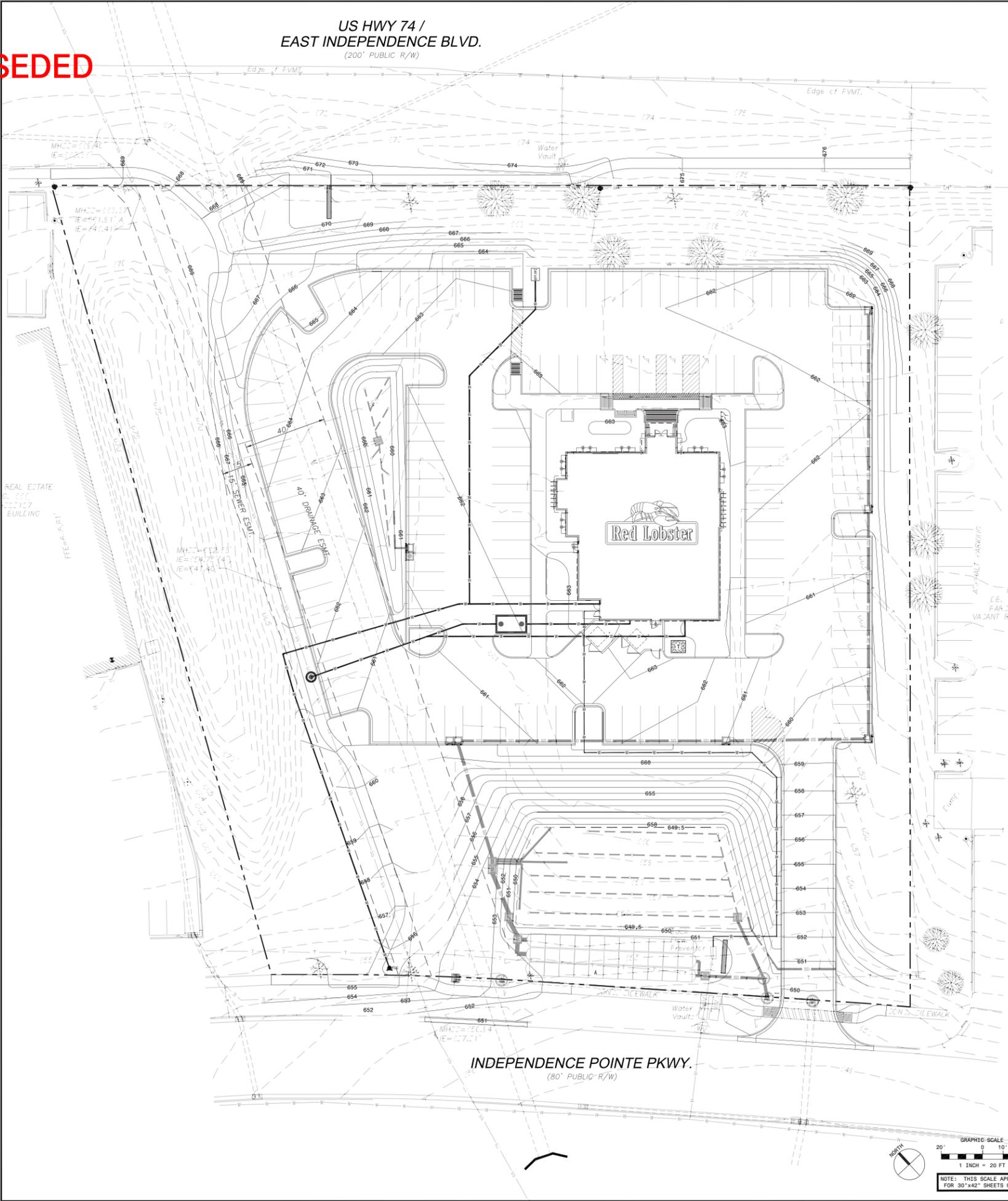
**C4.2**

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**SUPERSEDED**

US HWY 74 /  
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(200' PUBLIC R/W)

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Restaurant #: 11R0016

**RED LOBSTER**  
9700 E. INDEPENDENCE BLVD  
MATTHEWS, NC 28105

**MATTHEWS, NC**

Drawing  
**SITE  
UTILITY  
PLAN**

**C5.1**

UTILITY CONTACTS			
<p><b>STORM DRAINAGE</b> MECKLENBURG COUNTY STORMWATER DEPARTMENT 700 NORTH TRYON STREET CHARLOTTE, NC 28202 CONTACT: RUSTY ROZZELLE PHONE: 704-336-5449 FAX: 704-336-5448 EMAIL: RUSTY.ROZZELLE@MECKLENBURGCOUNTY.NC.GOV</p>	<p><b>WATER/SANITARY</b> CHARLOTTE MECKLENBURG UTILITY DEPARTMENT (CMUD) 5100 BROOKSHIRE BOULEVARD CHARLOTTE, NC CONTACT: BARBARA GROSS PHONE: 704-391-5129 FAX: 704-391-5129 EMAIL: BGROSS@CMUD.CHARLOTTE.NC.US</p>	<p><b>FIRE DEPARTMENT</b> MECKLENBURG COUNTY FIRE DEPARTMENT 700 NORTH TRYON STREET CHARLOTTE, NC 28202 CONTACT: RANDY FRAZIER PHONE: 704-336-3763 FAX: 704-336-3763 EMAIL: RANDY.FRAZIER@MECKLENBURGCOUNTY.NC.GOV</p>	
<p><b>NATURAL GAS</b> PIEDMONT NATURAL GAS 4729 PIEDMONT ROW DRIVE, SUITE 500 CHARLOTTE, NC 28210 CONTACT: JOE STAFFORD PHONE: 704-587-6958 FAX: 704-587-6958 EMAIL: JOSEPH.STAFFORD@PIEDMONTNG.COM</p>	<p><b>ELECTRIC</b> DUKE POWER COMPANY 3500 GRIBLE ROAD MATTHEWS, NC 28105 CONTACT: JOHN OWENS PHONE: 704-821-2149 FAX: 704-821-2149 EMAIL: JOHN.OWENS@DUKEENERGY.COM</p>	<p><b>TELEPHONE</b> WINDSTREAM CONTACT: 866-445-5882 PHONE: 704-208-4617 FAX: 704-208-4617 EMAIL: 704-208-4617</p>	<p><b>CABLE</b> TIME WARNER CABLE CONTACT: STEPHANIE PHONE: 704-208-4617 FAX: 704-208-4617 EMAIL: 704-208-4617</p>

