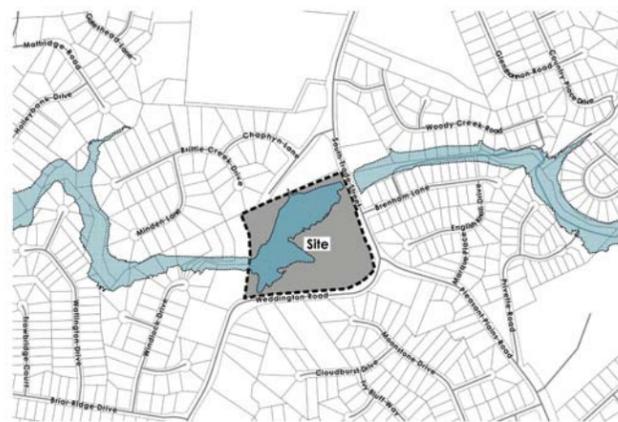


RESORT LIFESTYLE COMMUNITIES

1532 S. Trade Street
Matthews, North Carolina
Rezoning Documents

January 9, 2017
REVISED 03/03/2017
REVISED 03/20/2017
REVISED 04/05/2017



VICINITY MAP

N.T.S.

Sheet Number	Description	Revision #	Date
RZ-000	COVER SHEET	2	03.20.17
RZ-101	DEVELOPMENT STANDARDS	2	03.20.17
RZ-102	TECHNICAL DATA SHEET	2	03.20.17
RZ-103	CONCEPTUAL STORMWATER MANAGEMENT PLAN	1	03.20.17
RZ-103a	SITE CROSS SECTION PLAN AND PROFILE		03.20.17
RZ-104	EXTERIOR ELEVATIONS - AREA 'A'	2	03.20.17
RZ-105	EXTERIOR ELEVATIONS - AREA 'B'	2	03.20.17
RZ-106	EXTERIOR ELEVATIONS - CORE	2	03.20.17
RZ-107	EXTERIOR ELEVATIONS - CORE	2	03.20.17
RZ-108	EXTERIOR ELEVATIONS - GARAGE		03.06.17
RZ-109	SITE SURVEY		12.21.16

INDEX OF DRAWINGS



SITE OVERVIEW MAP



N.T.S.

APPROVALS

Developer

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Cameron General Contractors/
Resort Lifestyle Communities
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Lincoln, Nebraska 68516
phone: 402-420-3149

Civil Engineering & Landscape Architecture

bloc
Bloc Design
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Carolina Surveyors, Inc.
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Pineville, NC 28134
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PROJECT TEAM

RESORT LIFESTYLE COMMUNITIES

1532 S. Trade Street
Matthews, North Carolina
Rezoning Documents
January 9, 2017



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1310 S. Tryon Street, Suite 111
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REVISIONS		
NO.	DATE	DESCRIPTION
1	3/31/17	REZONING REVIEW COMMENTS
2	3/20/17	REZONING REVIEW COMMENTS
3	4/05/17	REZONING REVIEW COMMENTS

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ISSUED FOR CONSTRUCTION	
MANAGING PARTNER (PE):	DATE: _____
MANAGING PARTNER (L.A.):	DATE: _____
CIVIL ENGINEER/DESIGNER:	DATE: _____
LANDS ARCHITECT/DESIGNER:	DATE: _____

Resort Lifestyle Communities

1532 S. Trade Street
Matthews, NC

DATE: 01/09/17	MPIC: WLL
DRAWN BY:	CHECKED BY: JD
PROJECT NUMBER: 00351.00	
SCALE:	
TITLE: DEVELOPMENT STANDARDS	
SHEET NO.: RZ-101	

Cameron General Contractors/Resort Lifestyle Communities
Development Standards
April 5, 2017
Rezoning Petition No. 2017-657

SITE DEVELOPMENT DATA

- Acreage: ±17.575 acres
- Tax Parcel #: 227-291-01
- Existing Zoning: R-15
- Proposed Zoning: R-12 MF(CD)
- Existing Use: Vacant
- Proposed Use: Age- and Mobility-Limited Senior Housing containing 127 residential dwelling units as permitted by right, together with accessory uses as allowed in the R-12 MF(CD) zoning district as more specifically described below
- Maximum Building Height: As allowed by the UDO but not to exceed three (3) stories
- Parking: As depicted on Technical Data Sheet, RZ-102. Petitioner has filed an application for the following text amendment change to § 155.607.7.B.1 (Residential Uses): Request to add "Age- and Mobility-Limited Senior Housing" to that portion of the table which will read "Age- and Mobility-Limited Senior Housing 1.1 parking spaces per each independent living unit plus one space for each two (2) employees on shift of greatest employment."

I. GENERAL PROVISIONS

- a. These development standards and other site plan sheets form this rezoning plan (collectively, the "Rezoning Plan") associated with the Rezoning Petition filed by Cameron General Contractors/Resort Lifestyle Communities ("Petitioner") to accommodate the development of a high-quality senior independent living community on an approximately 17.575-acre site located on the northwest quadrant of the intersection of Weddington Road and South Trade Street (the "Site").
- b. Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the Town of Matthews Unified Development Ordinance (the "UDO"). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the UDO for the R-12 MF(CD) zoning classification shall govern all development taking place on the site.
- c. The schematic depictions of the uses, parking areas, sidewalks, structures, buildings and other site elements set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these development standards. The ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan, as well as any schematic building elevations, are graphic representations of the development and site elements proposed, and they may be altered or modified in accordance with the setback, yard and buffer requirements set forth on this Rezoning Plan and the development standards; provided, however, any such alterations and modifications shall not materially change the overall design intent depicted on the Rezoning Plan. Changes to the Rezoning Plan not permitted by the Rezoning Plan will be reviewed and approved as allowed by Section 155.401.5 of the UDO.

II. PERMITTED USES & DEVELOPMENT AREA LIMITATION

- a. The Site may be developed with 127 residential dwelling units as permitted by right, together with accessory uses as allowed in the R-12 MF (CD) zoning district.
- b. As depicted on Technical Data Sheet, RZ-102, Petitioner proposes a land dedication for the area located northwest of Four Mile Creek to the Town of Matthews for the Four Mile Creek greenway extension, subject to the following deed restrictions: (1) limitation on changes to topographic and vegetative characteristics of the dedicated land; (2) limitation on changes to the pathway and flow of Four Mile Creek, including changes for irrigation purposes; (3) limitation on any improvements including, but not limited to, water features and playgrounds being constructed on or placed within the dedicated land; other than the installation of periodic waste bins, dog stations and a greenway trail of similar dimensions and materials as other greenway trails in the area (no fencing or lighting placed along the trail unless lighting fixtures and lumens are approved by Petitioner and their successors and/or assigns); (4) limitation on location, materials and measurements of greenway signage; (5) requirement to maintain dedicated area; (6) restriction of any utilities above and below ground running through the dedicated property, including, but not limited to, cell towers or antennas; (7) limitation on certain uses of the greenway i.e., no festivals, gatherings, events, or uses creating a nuisance; (8) limitation on motorized vehicles or equipment on the dedicated property, except for those of the Town and its agents; and (9) Petitioner reserves utility easements across the dedicated property.
- c. Trees located on the dedicated property will be used to meet Petitioner's tree save requirements. The proposed dedicated area is to remain R-15.

III. ACCESS NOTES

- a. Vehicular access to the Site will be a full movement access from Weddington Road and R/RO only from South Trade Street as generally depicted on the Rezoning Plan.
- b. The placements and configurations of the vehicular access point is subject to any minor modifications, as approved by Matthews Public Works Department (MPWD) and/or NCDOT, required to accommodate final site development and construction plans and to any adjustments required for approval by MPWD and/or NCDOT in accordance with applicable published standards.
- c. The alignment of the internal vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the MPWD and/or NCDOT in accordance with published standards.
- d. Petitioner will cooperate /contribute to the increased cost of work for the NCDOT roadway improvements on South Trade Street related to changes/additions at the Site driveway.

IV. FOUR MILE CREEK GREENWAY

- a. Petitioner will coordinate greenway trail connection from South Trade Street, which is included as part of the South Trade Street Road improvements, to Four Mile Creek with the proposed Site driveway from South Trade Street. A portion of the greenway trail will be used as pedestrian access adjacent to the driveway.
- b. Petitioner will dedicate an easement along Four Mile Creek and across the property for future greenway trail extension and construct the greenway trail extension from the end of the greenway trail connection from South Trade Street in a westerly direction and connecting to Weddington Road as depicted on sheet RZ-102.

V. ARCHITECTURAL STANDARDS

- a. Meter banks will be screened.
- b. Dumpster, compactor and recycling areas will be enclosed by a solid wall with one side being a decorative gate. The wall used to enclose compactor, dumpster and recycling areas will be architecturally compatible with the building materials and colors used on the buildings. If one or more sides of a dumpster area adjoin a side or rear wall of a building, then the side or rear wall may be substituted for a side.
- c. The on-site compactor, dumpster and recycling areas must be picked up between the hours of 7:00 A.M. and 7:00 P.M.
- d. The site will comply with the sprinkler requirements of the NFFPA.

VI. STREETScape, BUFFERS, OPEN SPACE AND LANDSCAPING

- a. Setbacks and yards as required by the UDO and as generally depicted on the Rezoning Plan shall be provided.
- b. Screening requirements of the UDO will be met.

VII. ENVIRONMENTAL FEATURES

- a. The project will provide for storm water best management practices (BMPS) designed to meet regulatory requirements for storm water capture, treatment, volume attenuation and detention as applicable as generally illustrated on the Rezoning Plan.
- b. The location, size and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- c. The site will comply with the Town of Matthews UDO. Trees located on the proposed dedicated property located to the northwest of Four Mile Creek will be used to meet Petitioner's tree save requirements.

VIII. SIGNAGE

- a. Signage as allowed by the UDO may be provided.
- b. The site will comply with the signage requirements of the UDO.
- c. If an easement is necessary for greenway signage, Petitioner is willing to discuss; however, the expectation is that any greenway signage installed will fit within the dedicated land area.

IX. LIGHTING

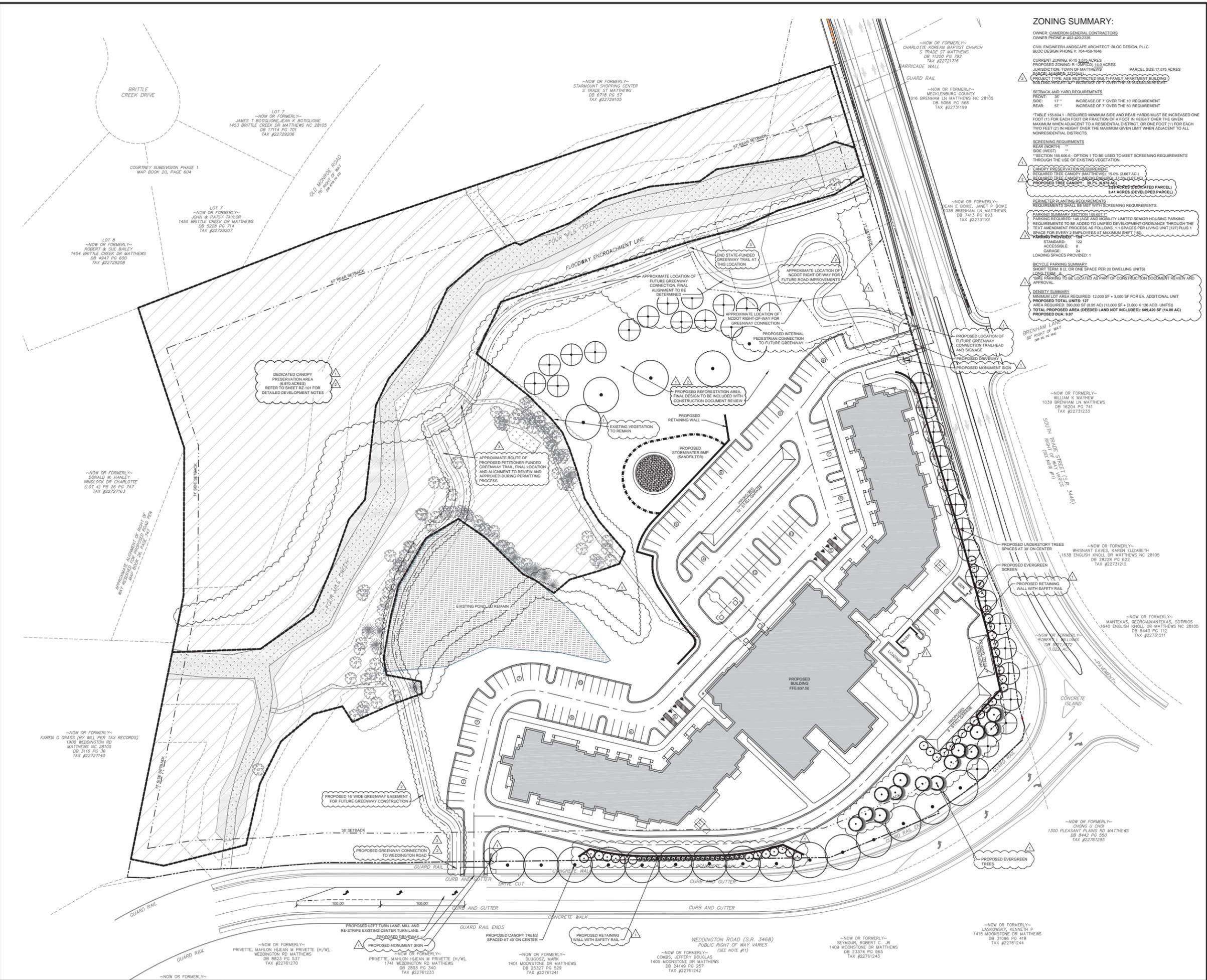
- a. All new site lighting will meet the standards of the Matthews outdoor lighting UDO.

X. AMENDMENTS TO THE REZONING PLAN

- a. Future amendments to the Rezoning Plan (which includes these development standards) may be applied for by the then owner or owners of the applicable development area portion of the site affected by such amendment in accordance with the provisions of Section 155.401 Amendments of the UDO.

XI. BINDING EFFECT OF THE REZONING APPLICATION

- a. If this Rezoning Petition is approved, all conditions applicable to the development of the site imposed under the Rezoning Plan will, unless amended in the manner provided under the UDO, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.



ZONING SUMMARY:
 OWNER: CAMERON GENERAL CONTRACTORS
 OWNER PHONE #: 402-420-2335
 CIVIL ENGINEER/LANDSCAPE ARCHITECT: BLOC DESIGN, PLLC
 BLOC DESIGN PHONE #: 704-458-1646
 CURRENT ZONING: R-15 (3.0% ACRES)
 PROPOSED ZONING: R-15 (17.0% ACRES)
 JURISDICTION: TOWN OF MATTHEWS
 PARCEL SIZE: 17.575 ACRES
 PARCEL NUMBER: 2029943
 PROJECT TYPE: AGE RESTRICTED MULTI-FAMILY APARTMENT BUILDING
 BUILDING HEIGHT: 42' INCREASE OF 7' OVER THE 35' MAXIMUM HEIGHT

SETBACK AND YARD REQUIREMENTS
 FRONT: 35' INCREASE OF 7' OVER THE 10' REQUIREMENT
 SIDE: 17' INCREASE OF 7' OVER THE 10' REQUIREMENT
 REAR: 9' INCREASE OF 7' OVER THE 10' REQUIREMENT

TABLE 155.064-1 REQUIRED MINIMUM SIDE AND REAR YARDS MUST BE INCREASED ONE FOOT (1') FOR EACH FOOT OR FRACTION OF A FOOT IN HEIGHT OVER THE GIVEN MAXIMUM WHEN ADJACENT TO A RESIDENTIAL DISTRICT, OR ONE FOOT (1') FOR EACH TWO FEET (2') IN HEIGHT OVER THE MAXIMUM GIVEN LIMIT WHEN ADJACENT TO ALL NONRESIDENTIAL DISTRICTS.

SCREENING REQUIREMENTS
 REAR (NORTH SIDE WEST) --
 "SECTION 155.066-1 OPTION 1 TO BE USED TO MEET SCREENING REQUIREMENTS THROUGH THE USE OF EXISTING VEGETATION"

CANOPY PRESERVATION REQUIREMENT
 REQUIRED TREE CANOPY (MATTHEWS): 15.0% (2,667 AC.)
 REQUIRED TREE CANOPY (MECKLENBURG): 17.0% (3,024 AC.)
 PROPOSED TREE CANOPY: 36.7% (6,575 AC.)
 159 TREES (DEDICATED PARCEL)
 3,414 ACRES (DEVELOPED PARCEL)

PERIMETER PLANTING REQUIREMENTS
 REQUIREMENTS SHALL BE MET WITH SCREENING REQUIREMENTS.

PARKING SUMMARY SECTION 156.077
 PROPOSED TO BE ADDED TO THE LIMITED SENIOR HOUSING PARKING REQUIREMENTS TO BE ADDED TO UNIFIED DEVELOPMENT ORDINANCE THROUGH THE TEXT AMENDMENT PROCESS AS FOLLOWS: 1.1 SPACES PER LIVING UNIT (127) PLUS 1 SPACE FOR EVERY 5 EMPLOYEES AT MAXIMUM SHEET (15).
 PROPOSED: 154

STANDARDS
 ACCESSIBLE: 8
 GARAGE: 122
 LOADING SPACES PROVIDED: 1

BICYCLE PARKING SUMMARY
 SHORT TERM: 2, OR ONE SPACE PER 20 DWELLING UNITS
 LONG TERM: 1

BIKE PARKING TO BE LOCATED AS PART OF CONSTRUCTION DOCUMENT REVIEW AND APPROVAL

DENSITY SUMMARY
 MINIMUM LOT AREA REQUIRED: 12,000 SF + 3,000 SF FOR EA. ADDITIONAL UNIT
 PROPOSED TOTAL UNITS: 127
 AREA REQUIRED: 260,000 SF (8.95 AC.) (12,000 SF + (3,000 X 126 ADD. UNITS))
 TOTAL PROPOSED AREA (DEEDED LAND NOT INCLUDED): 609,420 SF (14.00 AC.)
 PROPOSED DUA: 8.07

bloc
Bloc Design
 1310 S. Tryon Street, Suite 111
 Charlotte, NC 28203
 phone: 704-458-1646
 www.bloc-nc.com

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R&C
RESORT LIFESTYLE COMMUNITIES
Retirement Resorts

CAMERON
 GENERAL CONTRACTORS

REVISIONS

NO.	DATE	DESCRIPTION
1	3/31/17	REZONING REVIEW COMMENTS
2	3/20/17	REZONING REVIEW COMMENTS
3	4/05/17	REZONING REVIEW COMMENTS

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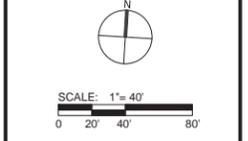


ISSUED FOR CONSTRUCTION

MANAGING PARTNER (P):	DATE:
MANAGING PARTNER (S.A.):	DATE:
CIVIL ENGINEER/DESIGNER:	DATE:
LANDS ARCHITECT/DESIGNER:	DATE:

Resort Lifestyle Communities

1532 S. Trade Street
 Matthews, NC



DATE: 01/09/17
 DRAWN BY: KGRH
 PROJECT NUMBER: 00351.00

TECHNICAL DATA SHEET

SHEET NO.: **RZ-102**



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1	3/3/17	REZONING REVIEW COMMENTS
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MANAGING PARTNER (S):	DATE: _____
CIVIL ENGINEER/DESIGNER:	DATE: _____
LANDS ARCHITECT/DESIGNER:	DATE: _____

Resort Lifestyle Communities

1532 S. Trade Street
Mathews, NC

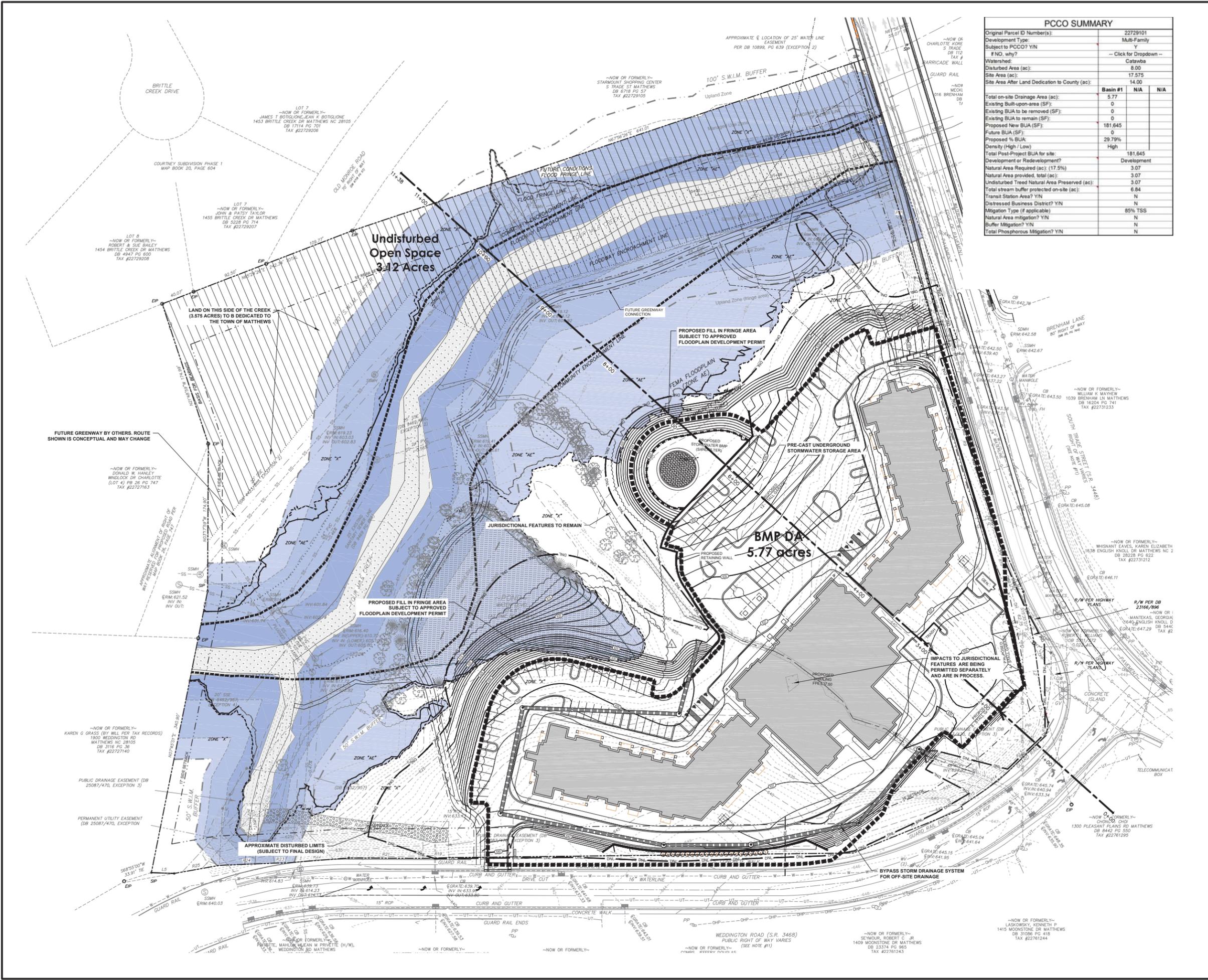


SCALE: 1" = 40'
0 20' 40' 80'

DATE: 01/09/17	MPC: WLL
DRAWN BY: KG	CHECKED BY: JD
PROJECT NUMBER: 00351.00	

SCALE:
TITLE: **CONCEPTUAL STORMWATER MANAGEMENT PLAN**
SHEET NO.: **RZ-103**

PCCO SUMMARY			
Original Parcel ID Number(s):	22729101		
Development Type:	Multi-Family		
Subject to PCCO? Y/N	Y		
If NO, why?	-- Click for Dropdown --		
Watershed:	Catawba		
Disturbed Area (ac):	8.00		
Site Area (ac):	17.575		
Site Area After Land Dedication to County (ac):	14.00		
Total on-site Drainage Area (ac):	Basin #1	N/A	N/A
Existing Built-up-area (SF):	5.77		
Existing BUA to be removed (SF):	0		
Existing BUA to remain (SF):	0		
Proposed New BUA (SF):	181,645		
Future BUA (SF):	0		
Proposed % BUA:	29.79%		
Density (High / Low):	High		
Total Post-Project BUA for site:	181,645		
Development or Redevelopment?	Development		
Natural Area Required (ac): (17.5%)	3.07		
Natural Area provided, total (ac):	3.07		
Undisturbed Treed Natural Area Preserved (ac):	3.07		
Total stream buffer protected on-site (ac):	6.84		
Transit Station Area? Y/N	N		
Distressed Business District? Y/N	N		
Mitigation Type (if applicable):	85% TSS		
Natural Area mitigation? Y/N	N		
Buffer Mitigation? Y/N	N		
Total Phosphorous Mitigation? Y/N	N		



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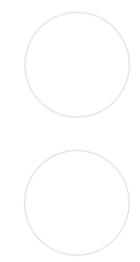
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NO.	DATE	DESCRIPTION
1	3/3/17	REZONING REVIEW COMMENTS
2	3/20/17	REZONING REVIEW COMMENTS

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stamp / seal:



ISSUED FOR CONSTRUCTION
 MANAGING PARTNER (PE): _____ DATE: _____
 MANAGING PARTNER (EA): _____ DATE: _____
 CIVIL ENGINEER/DESIGNER: _____ DATE: _____
 LANDS ARCHITECT/DESIGNER: _____ DATE: _____

Resort Lifestyle Communities

1532 S. Trade Street
 Matthews, NC

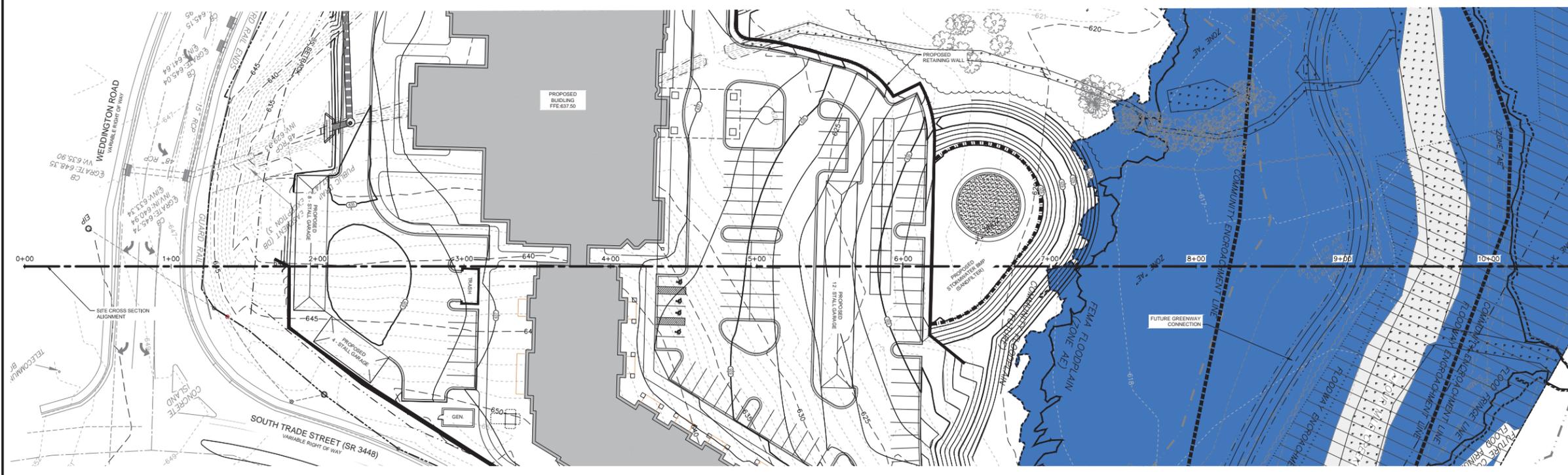


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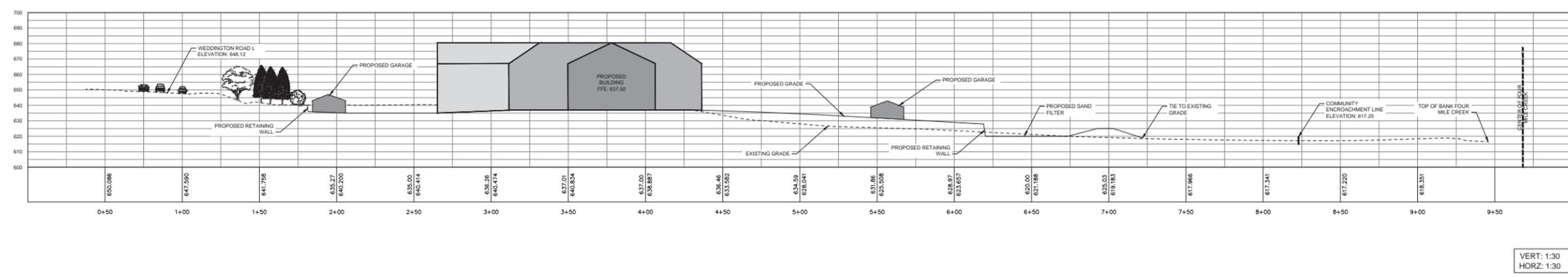
DATE: 01/09/17 MPC: WLL
 DRAWN BY: KG CHECKED BY: JD
 PROJECT NUMBER: 00351.00

SCALE:
 TITLE: **SITE CROSS SECTION PLAN AND PROFILE**

SHEET NO: **RZ-103a**



SITE CROSS SECTION - PLAN VIEW



VERT: 1:30
 HORZ: 1:30

SITE CROSS SECTION - PROFILE VIEW



RESORT LIFESTYLE COMMUNITIES
1530 S. TRADE STREET
MATTHEWS, NC

EXTERIOR ELEVATIONS - AREA 'A'

REVISIONS
DATE DESCRIPTION
03.28.17 RECONSIDER REVIEW COMMENTS
03.28.17 RECONSIDER REVIEW COMMENTS
12/02/16



1 ELEVATION - 'A' WING - FRONT - END
1/8" = 1'-0"

2 ELEVATION - 'A' WING - END
1/8" = 1'-0"

MASONRY CONTROL JOINT KEY:
CJ = CONTROL JOINT
CCJ = CORNER CONTROL JOINT - AT CORNER BEYOND
CBB = CONTROL JOINT BEHIND - BEHIND DOWNSPOUT



3 ELEVATION - 'A' WING - BACK
1/8" = 1'-0"



4 ELEVATION - 'A' WING - FRONT
1/8" = 1'-0"

THE MAIN BUILDING WILL BE APPROXIMATELY 50-55% BRICK AND STONE VENEER AND 45-50% CEMENTITIOUS LAP SIDING WITH ASPHALT SHINGLE ROOFING.



5 ELEVATION - 'A' WING - BACK - END
1/8" = 1'-0"

EXTERIOR MATERIAL - COLOR LEGEND

MASONRY:
BRICK - 4" VENEER: BORAL BRICK, WILDWOOD
BRICK - THIN BRICK VENEER: MATCH 4" BRICK VENEER
STONE - 4" VENEER: TELLURIDE STONE CO. SANTA FE LEDGE
STONE - THIN STONE VENEER: MATCH 4" STONE VENEER
CAST STONE: PISCATAWAY CONC. MONTICELLO STONE, LORRAINE BUFF
COLUMN: MASONRY SECTION: MATCH 4" STONE VENEER

SIDING SYSTEMS:
SIDING - HORIZ LAP SIDING: HARDE TRIM, COBBLE STONE
SIDING - HORIZ ACCENT SIDING: HARDE TRIM, MONTEREY TAUPE SP
SIDING - VERT ACCENT SIDING: HARDE TRIM, MONTEREY TAUPE SP
CORNER: TRIM: HARDE TRIM, MONTEREY TAUPE SP
COLUMN: SIDING SECTION: HARDE TRIM, MONTEREY TAUPE SP
PORCH: TRIM: LEVEL 3 SOFFIT: HARDE TRIM, MONTEREY TAUPE SP
WINDOW TRIM: HARDE TRIM, MONTEREY TAUPE SP

SOFFIT/FASCIA:
FASCIA: HARDE TRIM, TIMBER BARK
SOFFIT: ALUM. PREFINISHED, WHITE
SOFFIT: EPS. SMOOTH BAND, TEXTURE, WHITE

ROOF:
SHINGLES: OWENS CORNING, PEPPERWALL GRAY
GUTTER: MATCH TIMBER BARK
DOWNSPOUT: MATCH MONTEREY TAUPE SP

DOORS & WINDOWS:
WINDOW: VINYL, WHITE
PATIO DOOR: VINYL, WHITE
DOORS: HOLLOW METAL: MATCH MONTEREY TAUPE SP
DOORS: ALUM. WHITE
STOREFRONT: ALUM. WHITE

MISC.:
LOWER: TRIM: TBD TO MATCH SIDING & BRICK
UPPER: TRIM: TBD TO MATCH SIDING & BRICK
LOWER CORNER: MATCH WINDOW COLOR
COLUMN: TOP SECTION: ALUM. CLAD: MATCH MONTEREY TAUPE SP
PORCH BEAM: ALUM. CLAD: MATCH MONTEREY TAUPE SP
PORCH RAILING: MATCH COBBLESTONE
MISC. SCREEN WALL: MATCH COBBLESTONE
FYFON BRACKETS: MATCH TIMBER BARK

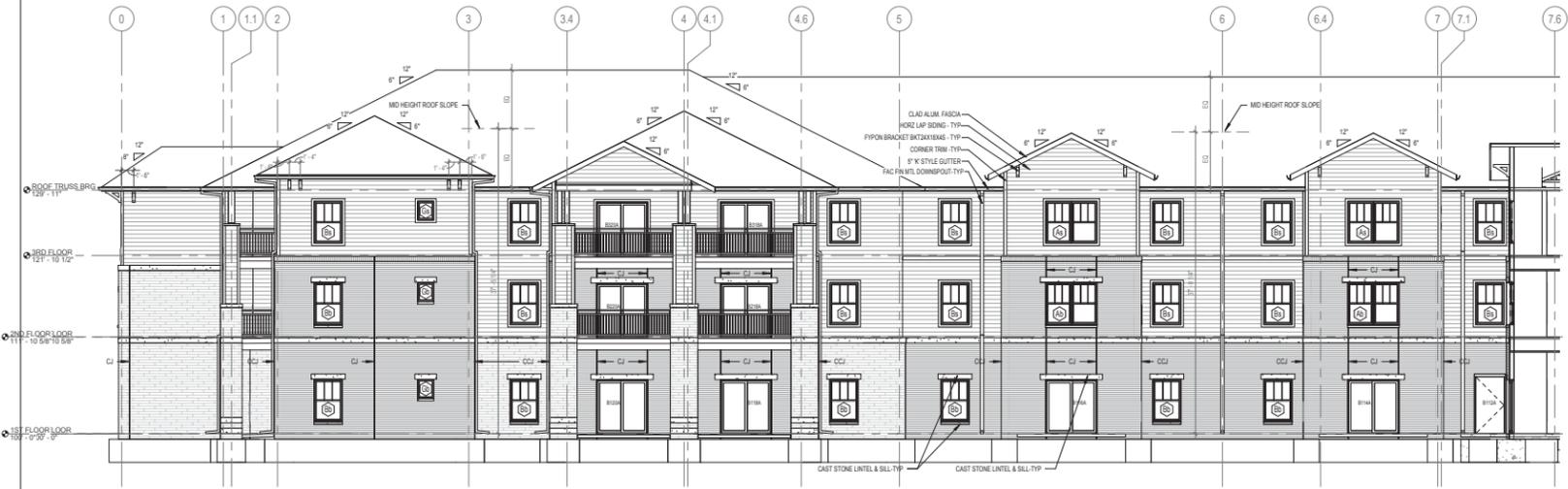


1 ELEVATION - 'B' WING - FRONT
1/8" = 1'-0"



2 ELEVATION - 'B' WING - BACK
1/8" = 1'-0"

MASONRY CONTROL JOINT KEY:
CJ = CONTROL JOINT
CCJ = CORNER CONTROL JOINT - AT CORNER BEYOND
CIB = CONTROL JOINT BEHIND - BEHIND DOWNSPOUT



3 ELEVATION - 'B' WING - BACK - END
1/8" = 1'-0"



4 ELEVATION - 'B' WING - END
1/8" = 1'-0"



5 ELEVATION - 'B' WING - FRONT - END
1/8" = 1'-0"

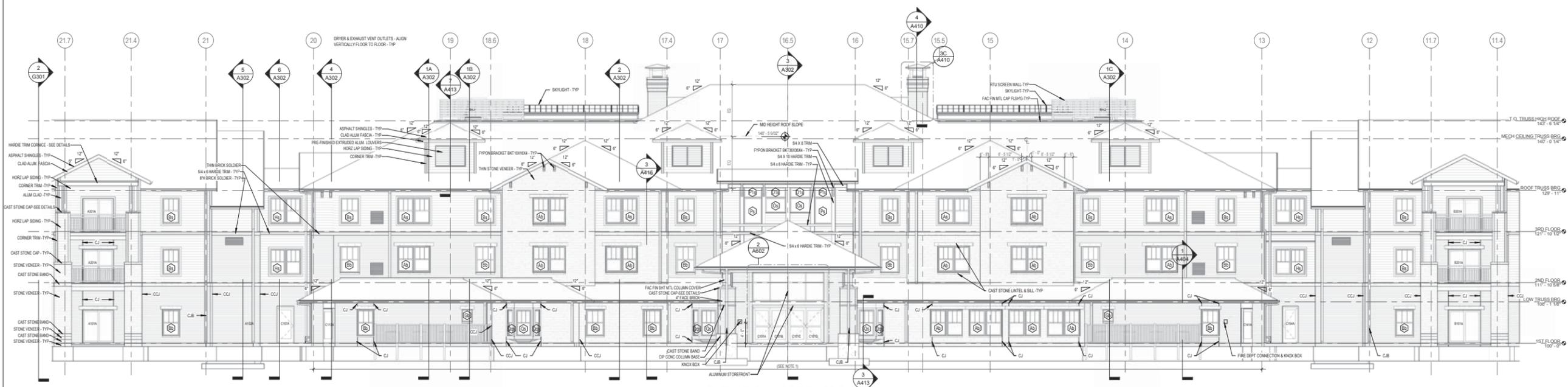
THE MAIN BUILDING WILL BE APPROXIMATELY 50-55% BRICK AND STONE VENEER AND 45-50% CEMENTITIOUS LAP SIDING WITH ASPHALT SHINGLE ROOFING.



RESORT LIFESTYLE COMMUNITIES
1530 S. TRADE STREET
MATTHEWS, NC
EXTERIOR ELEVATIONS - AREA 'B'

REVISIONS

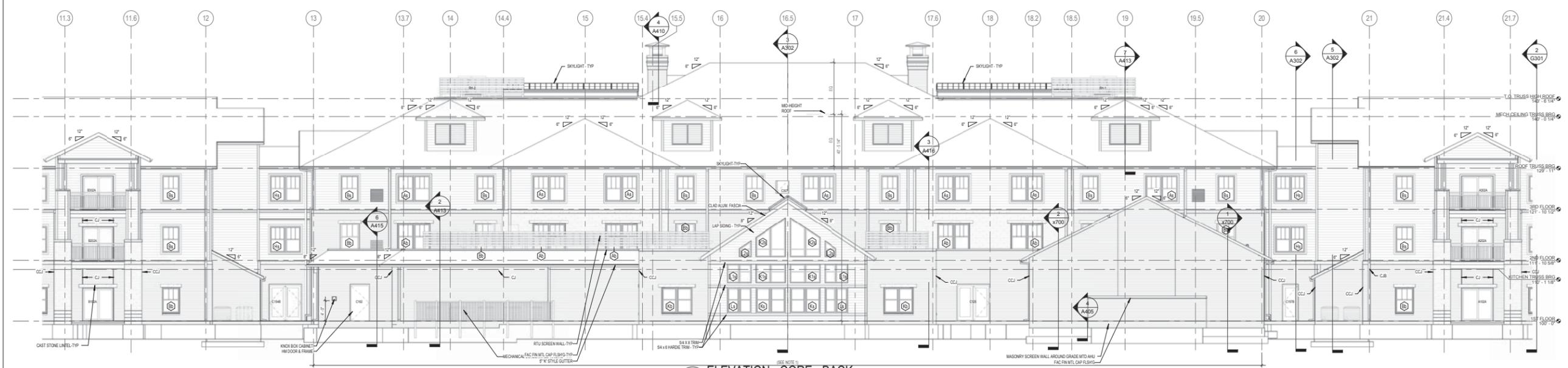
NO.	DATE	DESCRIPTION
1	03.17.17	RECONING REVIEW COMMENTS
2	03.20.17	RECONING REVIEW COMMENTS



1 ELEVATION - CORE - FRONT
1/8" = 1'-0"

MASONRY CONTROL JOINT KEY:
CJ = CONTROL JOINT
CCJ = CORNER CONTROL JOINT - AT CORNER BEYOND
CIB = CONTROL JOINT BEHIND - BEHIND DOWNSPOUT

THIN BRICK / THIN STONE NOTE:
1. AT BACK & FRONT ELEVATION OF THE CORE FROM 2ND LEVEL UP - PROVIDE THIN STONE & THIN BRICK IN LIEU OF FULL DEPTH MASONRY. SOLDIER COURSE PRECAST BANDS, LINTELS, AND SILLS TO PROJECT 1/2" FROM FACE OF THIN BRICK / STONE.



2 ELEVATION - CORE - BACK
1/8" = 1'-0"

THE MAIN BUILDING WILL BE APPROXIMATELY 50-55% BRICK AND STONE VENEER AND 45-50% CEMENTITIOUS LAP SIDING WITH ASPHALT SHINGLE ROOFING.



4 *3D - EXTERIOR - CORE - BACK



3 *3D - EXTERIOR - CORE - FRONT

CONSULTANT

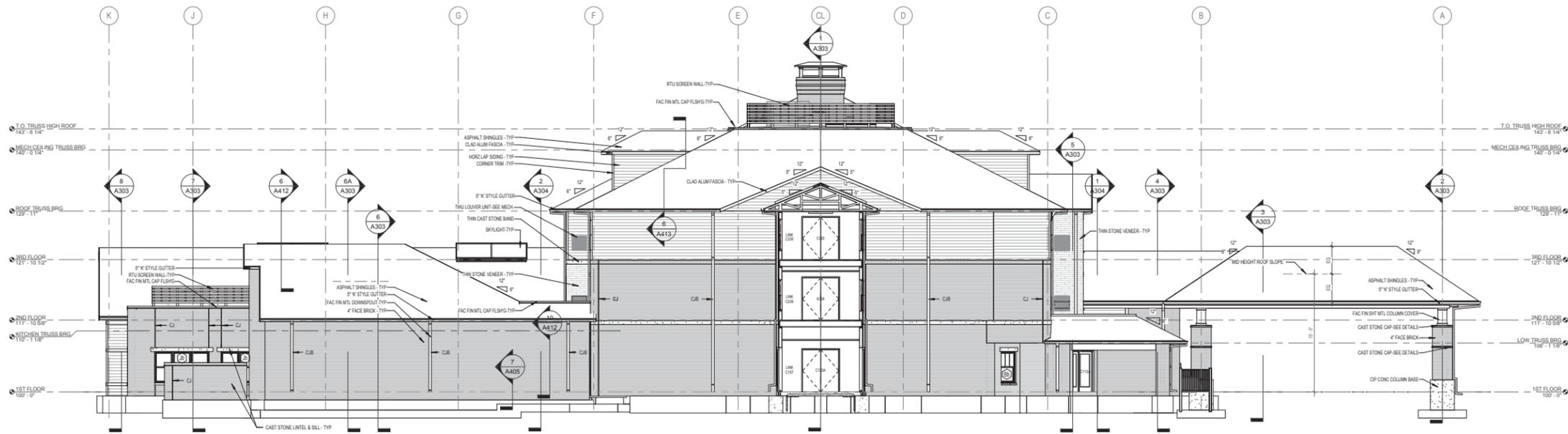


RESORT LIFESTYLE COMMUNITIES
1532 S. TRADE STREET
MATTHEWS, NC

EXTERIOR ELEVATIONS - CORE

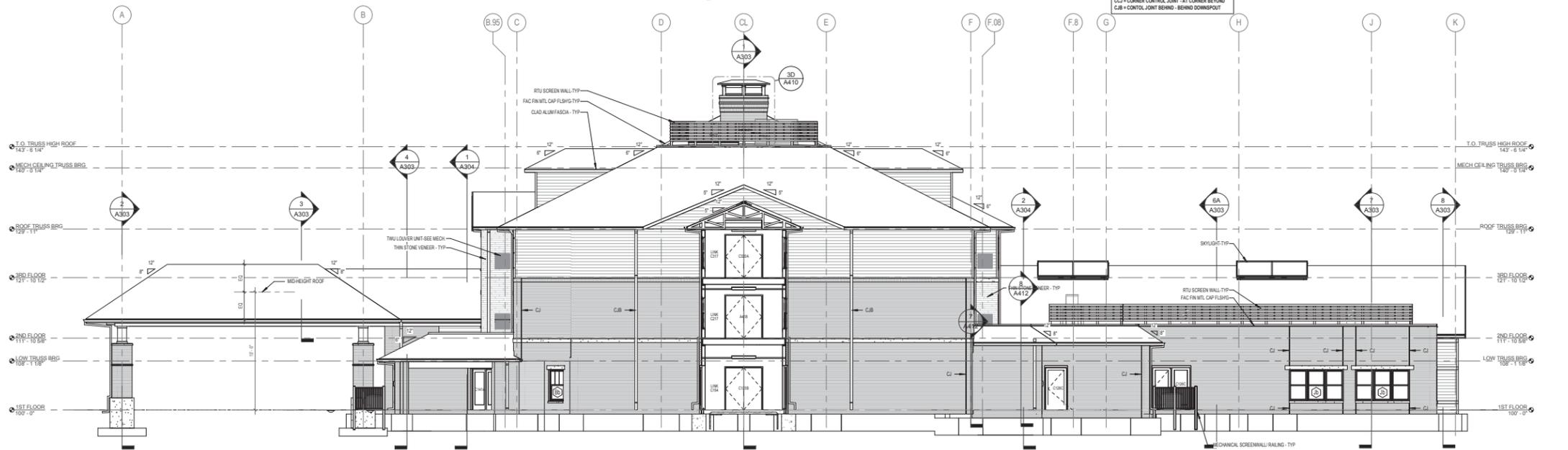
REVISIONS

NO.	DATE	DESCRIPTION
1	03.28.17	ISSUED FOR PERMITS
2	03.28.17	RECONSIDER REVIEW COMMENTS

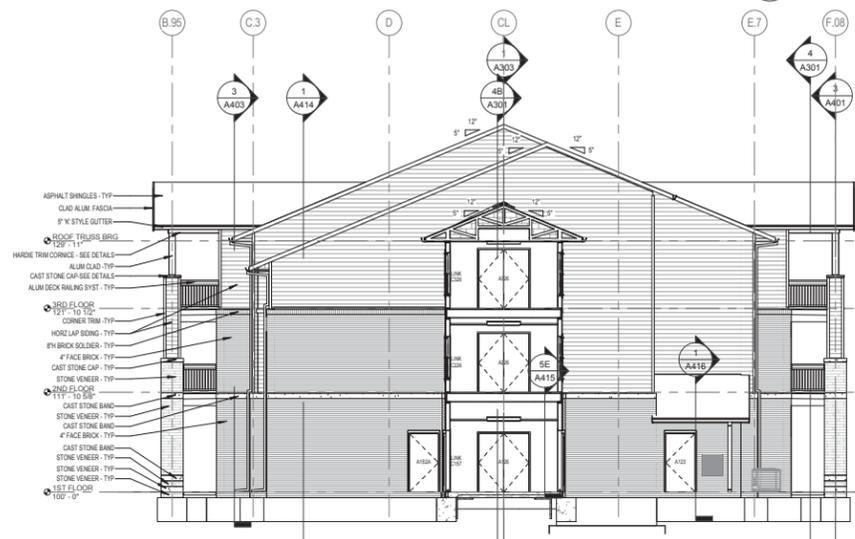


1 ELEVATION - CORE - 'A' WING SIDE
1/8" = 1'-0"

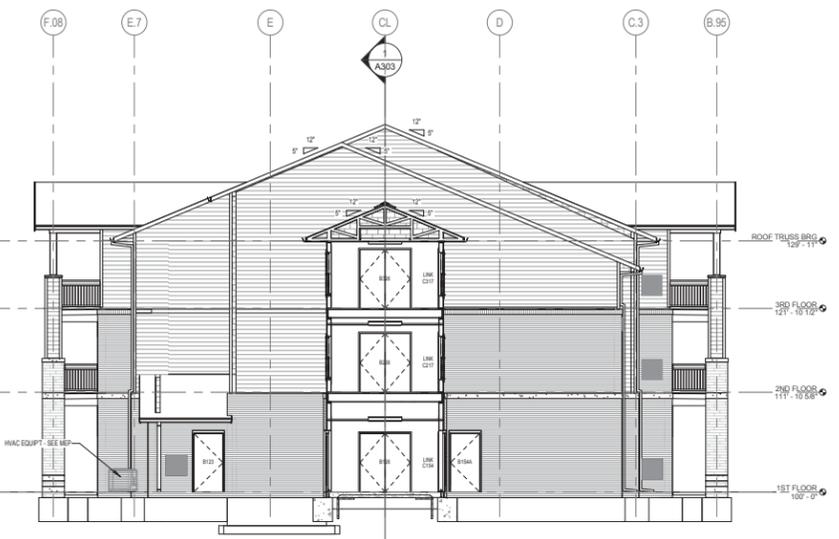
MASONRY CONTROL JOINT KEY:
CJ = CONTROL JOINT
CCJ = CORNER CONTROL JOINT - AT CORNER BEYOND
CJB = CONTROL JOINT BEHIND - BEHIND DOWNSPOUT



2 ELEVATION - CORE - 'B' WING SIDE
1/8" = 1'-0"



3 ELEVATION - CORE - END OF 'A' WING
1/8" = 1'-0"



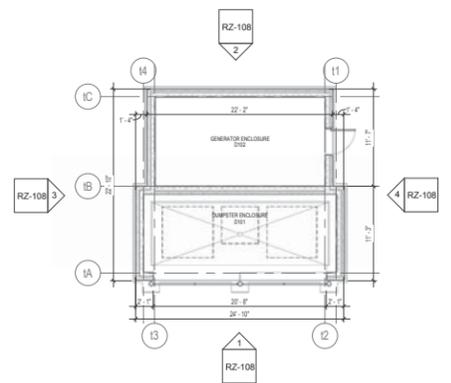
4 ELEVATION - CORE - END OF 'B' WING
1/8" = 1'-0"

THE MAIN BUILDING WILL BE APPROXIMATELY 50-55% BRICK AND STONE VENEER AND 45-50% CEMENTITIOUS LAP SIDING WITH ASPHALT SHINGLE ROOFING.

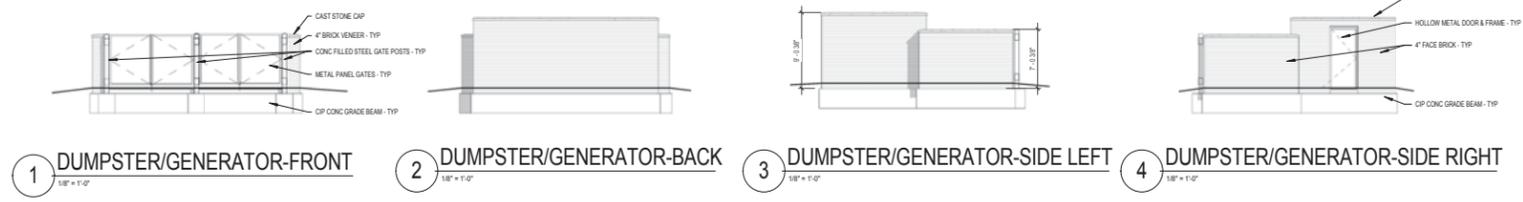


RESORT LIFESTYLE COMMUNITIES
1932 S. TRADE STREET
MATTHEWS, NC

EXTERIOR ELEVATIONS - CORE

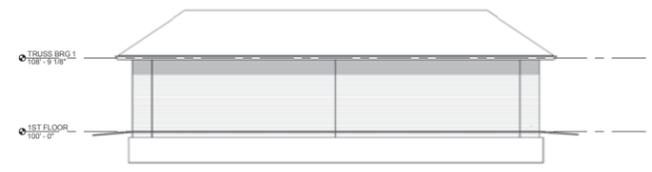


5 FLOOR PLAN - DUMPSTER/GENERATOR ENCLOSURE
1/8" = 1'-0"

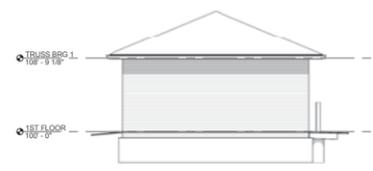


BUILDING MATERIAL & BUILDING SCREENING NOTES:

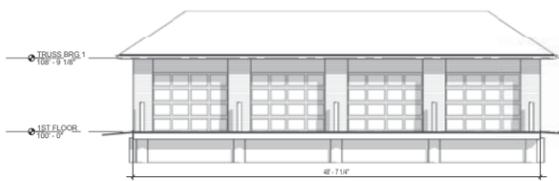
1. THE DUMPSTER/GENERATOR ENCLOSURE WILL BE CONSTRUCTED WITH A CAD WALL BACKUP WALL WITH A 4" MODULAR FACE BRICK VENEER (100% BRICK).
2. THE GARAGES WILL BE STICK FRAMED WITH A 4" MODULAR FACE BRICK VENEER (100% BRICK).
3. THE MAIN BUILDING WILL BE STICK FRAMED BY SOME STEEL POST & BEAM CONSTRUCTION IN THE CORE SECTION OF THE BUILDING. THE EXTERIOR FINISH OF THE BUILDING WILL BE A COMBINATION OF 4" MODULAR BRICK & HARDE LAP SIDING (45-45% BRICK VENEER) (55-55% CONCRETE/CLAP SIDING).
4. THE GARAGES AND THE MAIN BUILDING WILL ALL HAVE ELATED ROOFS WITH ASPHALT SHINGLES EXCEPT AT THE CORNER OF THE BUILDING WHERE THERE WILL BE SOME SMALL AREAS OF FLAT ROOF.
5. THE FLAT ROOF AREAS WILL HAVE A COMBINATION OF PARAPETS & SCREEN WALLS TO SCREEN ROOFTOP MECHANICAL EQUIPMENT FROM VIEW.
6. ANY GRADE MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW USING A COMBINATION OF LANDSCAPING SCREEN WALL FENCING, AND BRICK VENEER SCREEN WALLS.



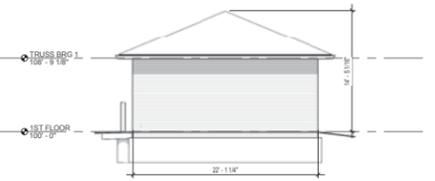
6 ELEV-4 STALL GARAGE 1-BACK
1/8" = 1'-0"



7 ELEV-4 STALL GARAGE 1-END LEFT
1/8" = 1'-0"



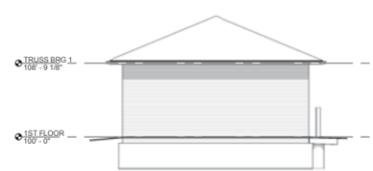
8 ELEV-4 STALL GARAGE 1-FRONT
1/8" = 1'-0"



9 ELEV-4 STALL GARAGE 1-END RIGHT
1/8" = 1'-0"



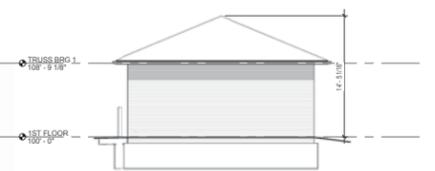
10 ELEV-8 STALL GARAGE 2-BACK
1/8" = 1'-0"



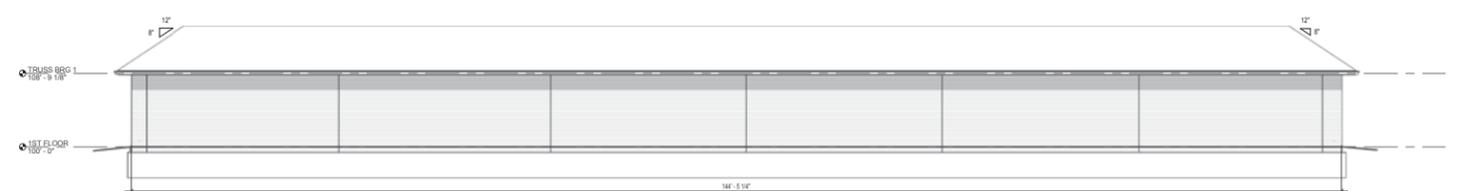
11 ELEV-8 STALL GARAGE 2-END LEFT
1/8" = 1'-0"



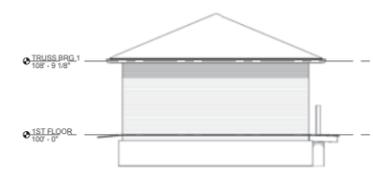
12 ELEV-8 STALL GARAGE 2-FRONT
1/8" = 1'-0"



13 ELEV-8 STALL GARAGE 2-END RIGHT
1/8" = 1'-0"



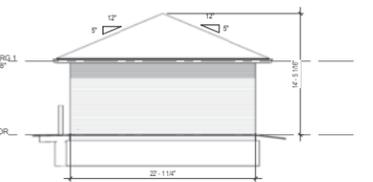
14 ELEV-12 STALL GARAGE 3-BACK
1/8" = 1'-0"



15 ELEV-12 STALL GARAGE 3-END LEFT
1/8" = 1'-0"



16 ELEV-12 STALL GARAGE 3-FRONT
1/8" = 1'-0"



17 ELEV-12 STALL GARAGE 3-END RIGHT
1/8" = 1'-0"

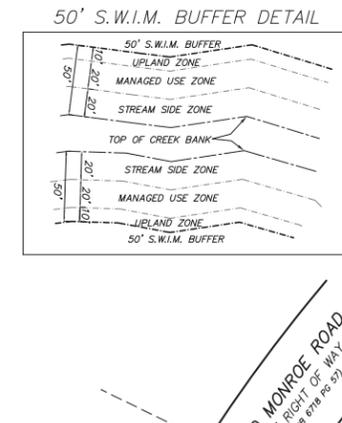
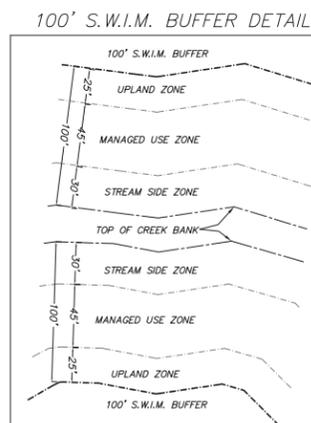
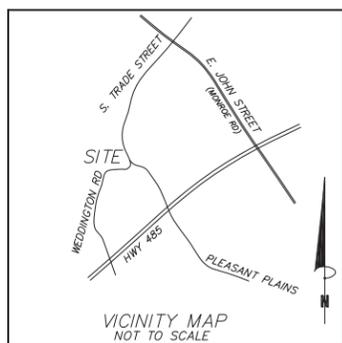


RESORT LIFESTYLE COMMUNITIES
1700 MEDDINGTON ROAD
MATTHEWS, NC

GARAGE & DUMPSTER ENCLOSURE ELEVATIONS

NO.	DATE	DESCRIPTION
01	04/06/17	

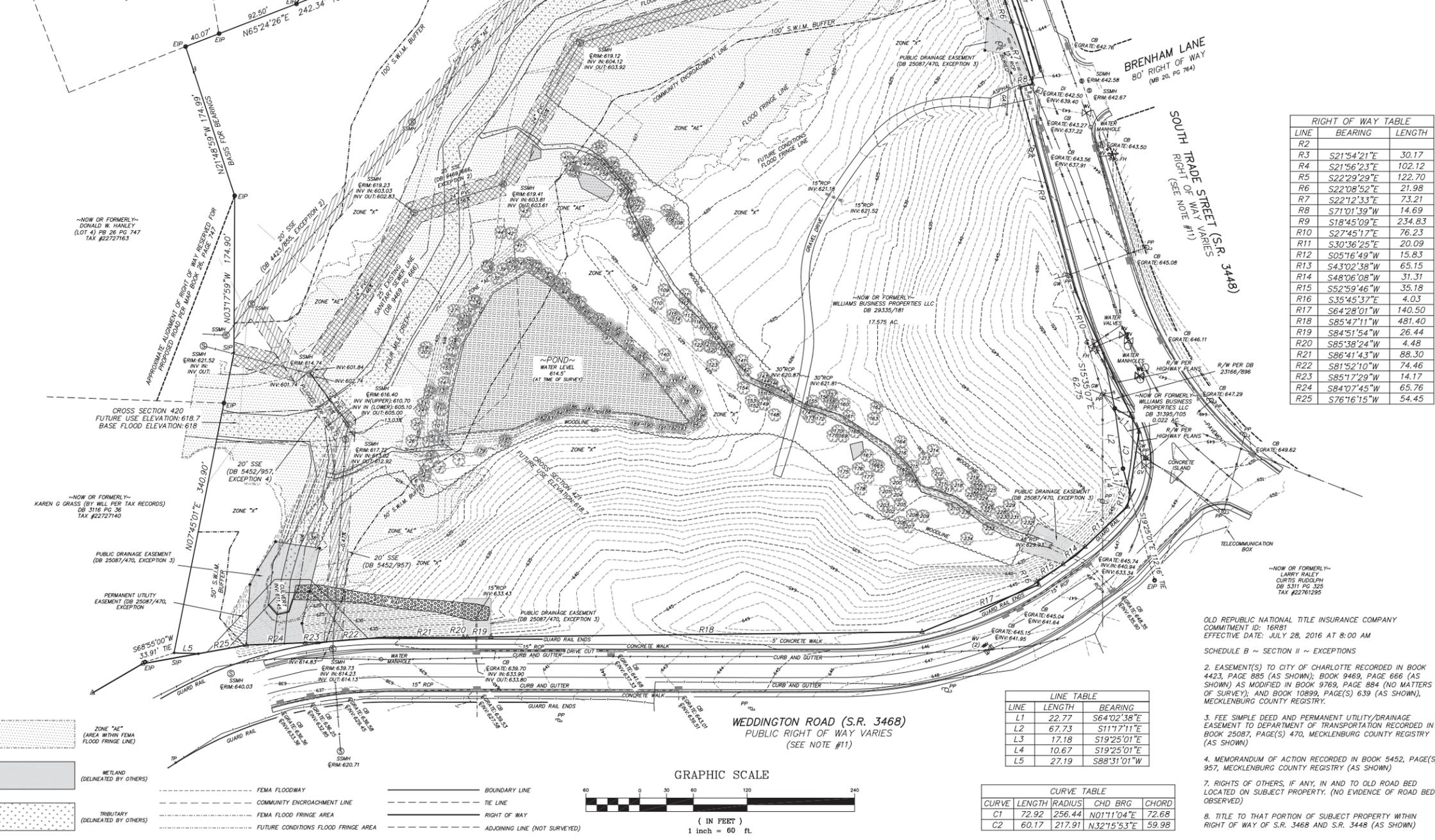
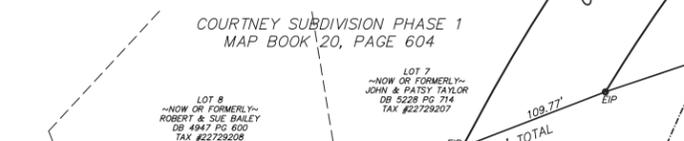
RZ-108



- SIP SET IRON PIN
- EIP EXISTING IRON PIN
- CP CALCULATED POINT
- UPLAND ZONE
- MANAGED USE ZONE
- STREAM SIDE ZONE
- TOP OF CREEK BANK
- CHAIN LINK FENCE
- UNDERGROUND WATER
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- SANITARY SEWER PIPE
- UNDERGROUND GAS
- UNDERGROUND TELECOMMUNICATIONS
- STORM DRAIN PIPE
- TOP OF CREEK BANK

TREE TABLE		TREE TABLE		TREE TABLE	
NO.	TYPE/SIZE	NO.	TYPE/SIZE	NO.	TYPE/SIZE
1	OAK 10	85	OAK 8	169	OAK 2 1/2
2	POPLAR 11	86	OAK 8	170	OAK 10
3	POPLAR 12	87	OAK 10	171	OAK 8
4	POPLAR 12	88	OAK 10	172	OAK 10
5	OAK 22	89	PINE 9	173	OAK 12
6	POPLAR 12	90	POPLAR 12	174	OAK 12
7	POPLAR 11	91	OAK 9/8	175	POPLAR 9
8	OAK 12	92	PINE 8	176	OAK 8
9	POPLAR 8	93	PINE 8	177	HACKBERRY 9
10	OAK 10	94	PINE 8	178	OAK 8
11	OAK 10	95	PINE 8	179	PINE 10
12	PINE 8	96	PINE 8/8	180	POPLAR 8
13	PINE 8	97	POPLAR 8	181	PINE 8
14	OAK 10	98	POPLAR 26	182	PINE 8
15	OAK 12	99	POPLAR 8	183	PINE 8
16	OAK 8	100	POPLAR 9	184	PINE 9
17	OAK 8	101	POPLAR 8	185	PINE 10
18	OAK 8	102	OAK 8	186	PINE 8
19	OAK 14	103	OAK 8	187	PINE 8
20	OAK 9	104	CEDAR 10	188	PINE 12
21	PINE 12	105	OAK 8	189	PINE 8
22	OAK 8	106	OAK 8	190	PINE 8
23	POPLAR 9	107	POPLAR 14	191	PINE 10
24	POPLAR 12	108	OAK 8	192	PINE 8
25	OAK 10	109	OAK 10	193	PINE 8
26	POPLAR 24	110	OAK 20/10	194	PINE 9
27	OAK 10	111	OAK 12	195	OAK 8
28	OAK 10	112	OAK 12	196	OAK 8
29	OAK 10	113	OAK 20	197	OAK 16
30	OAK 8	114	OAK 20	198	OAK 10
31	OAK 8	115	OAK 18	199	OAK 10
32	OAK DBL 9 X2	116	OAK 24	200	OAK 9
33	OAK 8	117	OAK 14	201	OAK 9
34	OAK 8	118	OAK 9	202	OAK 11
35	OAK 8	119	OAK 9	203	OAK 8
36	OAK 10	120	OAK 24	204	OAK 8
37	OAK 12	121	POPLAR 8	205	OAK 8
38	OAK 38	122	OAK 10	206	OAK 10
39	OAK 10	123	OAK 12	207	OAK 14
40	OAK 18	124	OAK 24	208	OAK 18
41	OAK 9	125	OAK 18	209	OAK 24
42	POPLAR 9	126	OAK 12	210	POPLAR 30
43	OAK 26	127	PINE 12	211	OAK 8
44	OAK 28	128	PINE 8	212	OAK 10
45	OAK 16	129	PINE 8	213	OAK 12
46	POPLAR 20/24	130	PINE 8	214	OAK 16
47	HACKBERRY 9	131	PINE 10	215	OAK 8
48	OAK 9	132	PINE 10	216	OAK 8
49	OAK 18	133	PINE 10	217	POPLAR 12
50	OAK 8	134	PINE 9	218	OAK 11
51	OAK 17	135	OAK 10	219	OAK 9
52	OAK 9	136	PINE 8	220	OAK 8
53	HACKBERRY 8	137	PINE 8	221	OAK 20
54	OAK 28	138	PINE 8	222	OAK 24
55	POPLAR 12	139	PINE 8	223	OAK 10
56	POPLAR 18/20	140	OAK 16	224	OAK 18
57	OAK 8	141	OAK 15	225	OAK 18
58	OAK 9	142	OAK 8	226	OAK 8
59	POPLAR 12	143	OAK 8	227	OAK 9
60	OAK 12	144	OAK 12	228	OAK 13
61	OAK 8	145	OAK 10	229	OAK 14
62	OAK 8	146	OAK 10	230	OAK 9
63	POPLAR 15	147	OAK 12	231	OAK 16
64	OAK 20	148	OAK 12	232	OAK 16
65	OAK 10	149	OAK 12	233	OAK 11
66	OAK 10	150	OAK 18	234	OAK 10
67	OAK 10	151	OAK 16	235	OAK 9
68	OAK 20	152	OAK 16	236	OAK 16
69	OAK 8	153	OAK 14/7		
70	OAK 11	154	OAK 14		
71	OAK 9	155	OAK 12		
72	OAK 24	156	OAK 12		
73	OAK 8	157	OAK 14		
74	POPLAR 10	158	OAK 10		
75	OAK 10	159	OAK 11		
76	OAK 10	160	OAK 8		
77	OAK 12	161	OAK 16		
78	OAK 12	162	OAK 10		
79	OAK 8	163	OAK 10		
80	OAK 9/7	164	OAK 14		
81	OAK 12	165	OAK 8		
82	OAK 8	166	OAK 12		
83	OAK 8/12	167	OAK 15/7		
84	OAK 9/7	168	OAK 15		

- NOTES:
- IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 - PROPERTY ZONED: R-15
 - TAX PARCEL NUMBER 22729101.
 - DEED REFERENCE: DEED BOOK 3168, PAGE 295 & DEED BOOK 29335, PAGE 181.
 - BOUNDARY SURVEY ONLY THROUGH POINTS AS SHOWN.
 - A PORTION OF THIS PROPERTY IS LOCATED IN FLOOD HAZARD AREA PER FIRM COMMUNITY PANEL 3710448900K, EFFECTIVE 02/19/2014.
 - INTENTIONALLY DELETED.
 - ANY CONSTRUCTION OR USE WITHIN ANY DELINEATED FLOOD AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS.
 - AREA COMPUTED BY COORDINATED METHOD.
 - NO NCGS MONUMENT FOUND WITHIN 2000'.
 - RIGHT OF WAY INFORMATION SHOWN IS IN REFERENCE TO PROJECT REFERENCE NUMBER "M10181R" COMPILED BY MULKEY ENGINEERS AND CONSULTANTS, INC DATED 11/15/07 & DB 25087, PG 470 & HIGHWAY PLANS (PROJECT U-5025,37162; RECORDED BK 3, PG 758, INST. #2008067526)
 - RIGHT OF WAY MONUMENTATION SHOULD BE REESTABLISHED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION OR THEIR ASSIGNS PRIOR TO THE COMPLETION OF CONSTRUCTION.



RIGHT OF WAY TABLE

LINE	BEARING	LENGTH
R2		
R3	S21°54'21"E	30.17
R4	S21°56'23"E	102.12
R5	S22°29'29"E	122.70
R6	S22°08'52"E	21.98
R7	S22°12'33"E	73.21
R8	S71°01'39"W	14.69
R9	S18°45'09"E	234.83
R10	S27°45'17"E	76.23
R11	S30°36'25"E	20.09
R12	S05°16'49"W	15.83
R13	S43°02'38"W	65.15
R14	S48°06'08"W	31.31
R15	S52°59'46"W	35.18
R16	S35°45'37"E	4.03
R17	S64°28'01"W	140.50
R18	S85°47'11"W	481.40
R19	S84°51'54"W	26.44
R20	S85°38'24"W	4.48
R21	S86°41'43"W	88.30
R22	S81°52'10"W	74.46
R23	S85°17'29"W	14.17
R24	S84°07'45"W	65.76
R25	S76°16'15"W	54.45

LINE TABLE

LINE	LENGTH	BEARING
L1	22.77	S64°02'38"E
L2	67.73	S11°17'11"E
L3	17.18	S19°25'01"E
L4	10.67	S19°25'01"E
L5	27.19	S88°31'01"W

CURVE TABLE

CURVE	LENGTH	RADIUS	CHD BRG	CHORD
C1	72.92	256.44	N01°11'04"E	72.68
C2	60.17	217.91	N32°15'53"E	59.98



THIS IS TO CERTIFY TO OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY & CAMERON GENERAL CONTRACTORS, INC. THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS'S LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS'S, AND INCLUDES ITEMS 1,2,3,4,6,(9),(7),(8),(11),(12),(13),(14) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 08/18/16.

HUGH E. WHITE, JR. DATE

REVISIONS:

DATE	DESCRIPTION
5/16/13	PARTIAL TOPOGRAPHICAL SURVEY
5/13/13	ALLOWABLE FILL AREA
10/11/16	UPDATED
11/16/16	PARTIAL TREE LOCATION

SCALE: 1" = 60'

2007/BAT/WEDDINGTON (MATTHEWS)

2007/W/WEDDINGTON-MAT

DRAWN BY: TW/NB

CHECKED BY: HW

FIELD WORK: JH, JF, DW

JUNE 20, 2007

CAROLINA SURVEYORS, INC.

P.O. BOX 267 PINEVILLE, N.C. 28134 - 0267

HUGH E. WHITE, JR., NERLS & SCRLES 889 - 7601

CERTIFICATE OF AUTHORIZATION N.C. 10-1242 SC-886

AN ALTA/NPS'S LAND TITLE SURVEY OF PROPERTY AT THE INTERSECTION OF SOUTH TRADE STREET & WEDDINGTON ROAD

SURVEYED FOR: CAMERON GENERAL CONTRACTORS, INC.

AREA: 17.507 ACRES

TOWN OF MATTHEWS, MECKLENBURG COUNTY, NORTH CAROLINA