

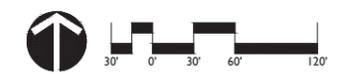
VICINITY MAP  
NTS

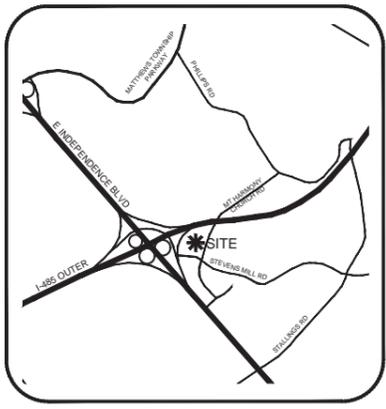
**LandDesign**  
223 N Graham Street, Charlotte, NC 28202  
V: 704.333.0325 F: 704.332.3246  
www.LandDesign.com

**MT. HARMONY TOWN HOUSES**  
**REZONING PETITION No. 2017-674**  
MATTHEWS, NORTH CAROLINA  
**COVER SHEET**

REVISIONS  
DATE: 11/29/2017  
DESIGNED BY: ST  
DRAWN BY: JT  
CHECKED BY: ST  
SCALE: 1" = 60'  
PROJECT #: 1017211

DATE: 11/29/2017  
DESIGNED BY: ST  
DRAWN BY: JT  
CHECKED BY: ST  
SCALE: 1" = 60'  
PROJECT #: 1017211  
SHEET #:  
**CS**

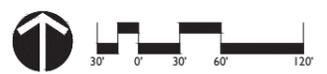




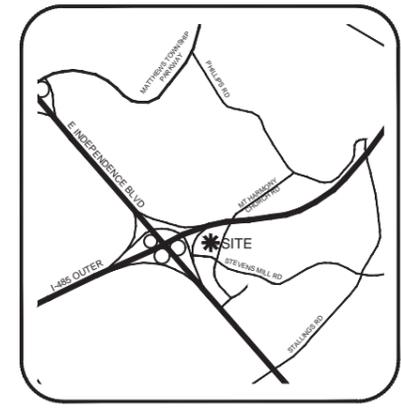
VICINITY MAP  
NTS

**SITE DEVELOPMENT DATA**

- PARCEL ACREAGE:** 17.58 AC TOTAL  
R-VS: ± 14.84 AC, R-15 CD: ± 2.74 AC
- TAX PARCEL #:** 21509302, 21509303, 21509304, 21509305, 21509306, 21509307
- EXISTING ZONING:** R-15, R-20
- PROPOSED ZONING:** R-VS, R-15 (CD)
- EXISTING USES:** SINGLE FAMILY RESIDENTIAL, VACANT
- PROPOSED USES:** ONE FAMILY ATTACHED DWELLING UNITS
- PROPOSED NUMBER OF UNITS:** MAXIMUM NUMBER OF 123 UNITS
- PROPOSED DENSITY:** 6.99 DU/AC
- PROPOSED SETBACK SITE:** 20' FROM ROW
- MINIMUM LOT AREA:**  
-REQUIRED: 3,000/DU  
-PROPOSED: 1,760/DU- 2,600/DU (20' MIN. x 80' MIN. LOTS)
- MINIMUM LOT WIDTH:**  
-REQUIRED: 30'  
-PROPOSED: 20' MIN.
- MINIMUM SETBACK:**  
-REQUIRED: 20'  
-PROPOSED:  
REAR LOADED: 7' (FROM RIGHT OF WAY)  
FRONT LOADED: 20' (FROM RIGHT OF WAY)
- MINIMUM SIDE YARD:**  
-REQUIRED: 0, 8' FOR END UNIT  
-PROPOSED: 0, 5' FOR END UNIT
- MINIMUM REAR YARD:**  
-REQUIRED: 20'  
-PROPOSED: 20'
- MINIMUM BUILDING SEPARATION:** 10' MIN.
- MINIMUM OPEN SPACE**  
-REQUIRED: 10%  
-PROPOSED: 27.6%  
(2.31 AC OPEN SPACE + 2.54 AC TREE SAVE)
- MAXIMUM HEIGHT:**  
-REQUIRED: 35'
- TREE CANOPY PRESERVATION**  
-REQUIRED: 8%  
-PROPOSED: 14.4% (2.54 AC)  
\*NOTE: ACTUAL TREE SAVE AREA TO BE DETERMINED DURING FINAL ENGINEERING.







VICINITY MAP  
NTS

**SITE LEGEND**

- PROPOSED PROPERTY LINE
- 20' SETBACK
- PROPOSED PUBLIC ROW
- PROPOSED PRIVATE ALLEY
- PROPOSED BUILDING ENVELOPE (AREA UTILIZING FLEXIBLE DESIGN PROVISIONS)
- PROPOSED ACCESS

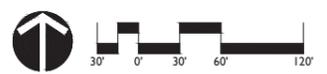
**AREA UTILIZING FLEXIBLE DESIGN PROVISIONS: 5.76 AC**

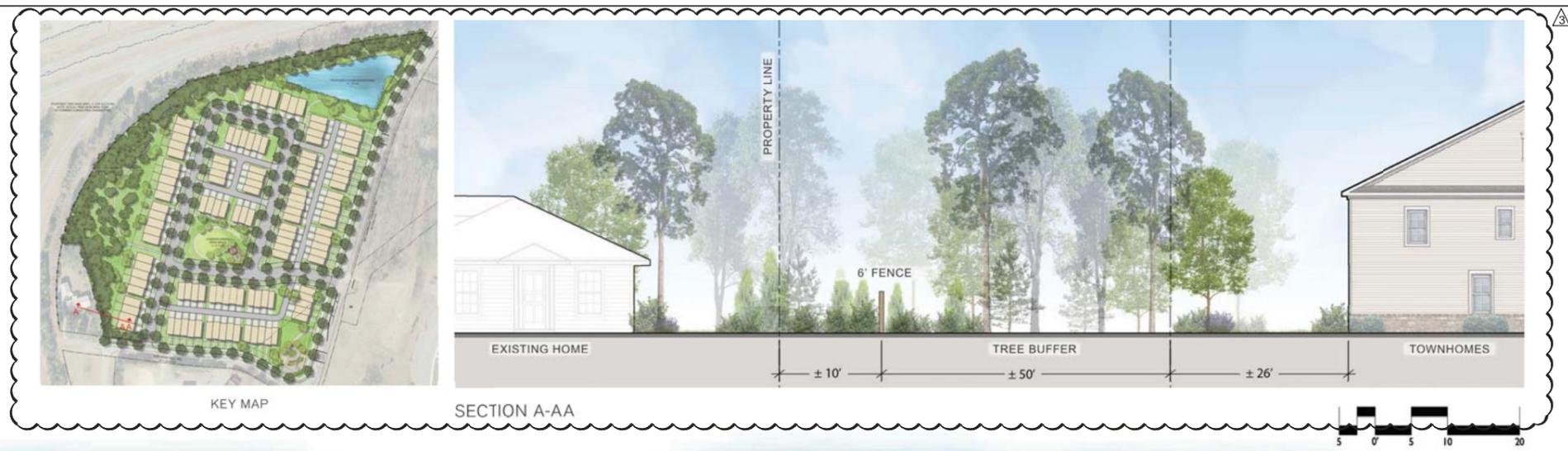


**MT. HARMONY TOWN HOUSES**  
REZONING PETITION No. 2017-674  
MATTHEWS, NORTH CAROLINA  
FLEXIBLE DESIGN PROVISIONS

DATE: 11/29/2016  
DESIGNED BY: KST  
DRAWN BY: AEE  
CHECKED BY: KST  
SCALE: NTS  
PROJECT #: 1017211  
SHEET #: **RZ-3**

REVISIONS  
06/08/2018 - PER STAFF COMMENTS  
03/05/2018 - PER STAFF COMMENTS  
03/05/2018 - PER STAFF COMMENTS





**22' x 54' Wide Alley Load Townhomes**  
**2-Story Brick 5-Plex**  
**Front Elevation**  
05.21.18



**22' x 54' Wide Alley Load Townhomes**  
**2-Story Brick 5-Plex**  
**Rear Elevation**  
05.21.18



**22' x 54' Wide Alley Load Townhomes**  
**2-Story Brick 5-Plex**  
**Left Side Elevation 'A'**  
05.17.18



**22' x 54' Wide Alley Load Townhomes**  
**2-Story Brick 5-Plex**  
**Right Side Elevation 'C'**  
05.17.18



REVISIONS  
DATE: 1/29/2017  
DESIGNED BY: KST  
DRAWN BY: AEE  
CHECKED BY: KST  
SCALE: 1/8"=1'-0"  
PROJECT #: 1017211  
SHEET #:  
RZ-4

**MT. HARMONY TOWN HOUSES**  
**REZONING PETITION No. 2017-674**  
MATTHEWS, NORTH CAROLINA  
**ARCHITECTURAL ELEVATIONS + ILLUSTRATIVE SECTION**

**LandDesign**  
223 N Graham Street, Charlotte, NC 28202  
V: 704.333.0325 F: 704.332.3246  
www.LandDesign.com



Elevation "C" Elevation "A" Elevation "B" Elevation "C" Elevation "B"



**26' Wide Front Load Townhomes**  
**2-Story Brick 5-Plex**  
**Front Elevation**  
05.21.18



Plan 2B Plan 1C Plan 2B Plan 1A Plan 2C



**26' Wide Front Load Townhomes**  
**2-Story Brick 5-Plex**  
**Rear Elevation**  
05.21.18



**26' Wide Front Load Townhomes**  
**2-Story Brick 5-Plex**  
**Left Side Plan 2 Elevation 'B'**  
05.18.18

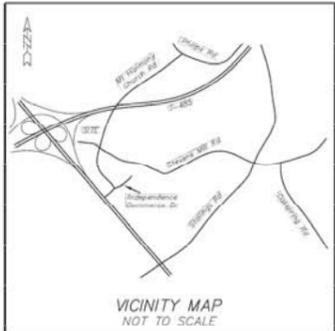


**26' Wide Front Load Townhomes**  
**2-Story Brick 5-Plex**  
**Right Side Plan 2 Elevation 'C'**  
05.18.18



**MT. HARMONY TOWN HOUSES**  
**REZONING PETITION No. 2017-674**  
MATTHEWS, NORTH CAROLINA  
**ARCHITECTURAL ELEVATIONS**

REVISIONS  
DATE: 11/29/17  
DESIGNED BY: KST  
DRAWN BY: AEE  
CHECKED BY: KST  
SCALE: AS SHOWN  
PROJECT #: 1017211  
SHEET #:  
**RZ-5**



LINE	BEARING	LENGTH
L1	N88°28'26"E	87.02
L2	N54°45'38"E	105.04
L3	N52°10'23"E	139.25
L4	N82°06'43"E	199.99
L5	S60°24'45"E	27.42
L6	S26°22'55"E	30.39
L7	S26°22'55"E	58.82
L8	N56°09'11"W	66.69
L9	N69°58'19"E	28.08
L10	N15°34'13"E	273.11

CURVE	RADIUS	LENGTH	BEARING	CHORD
C1	703.51	512.72	S33°15'45"W	501.45
C2	703.51	17.54	S54°51'19"W	17.54

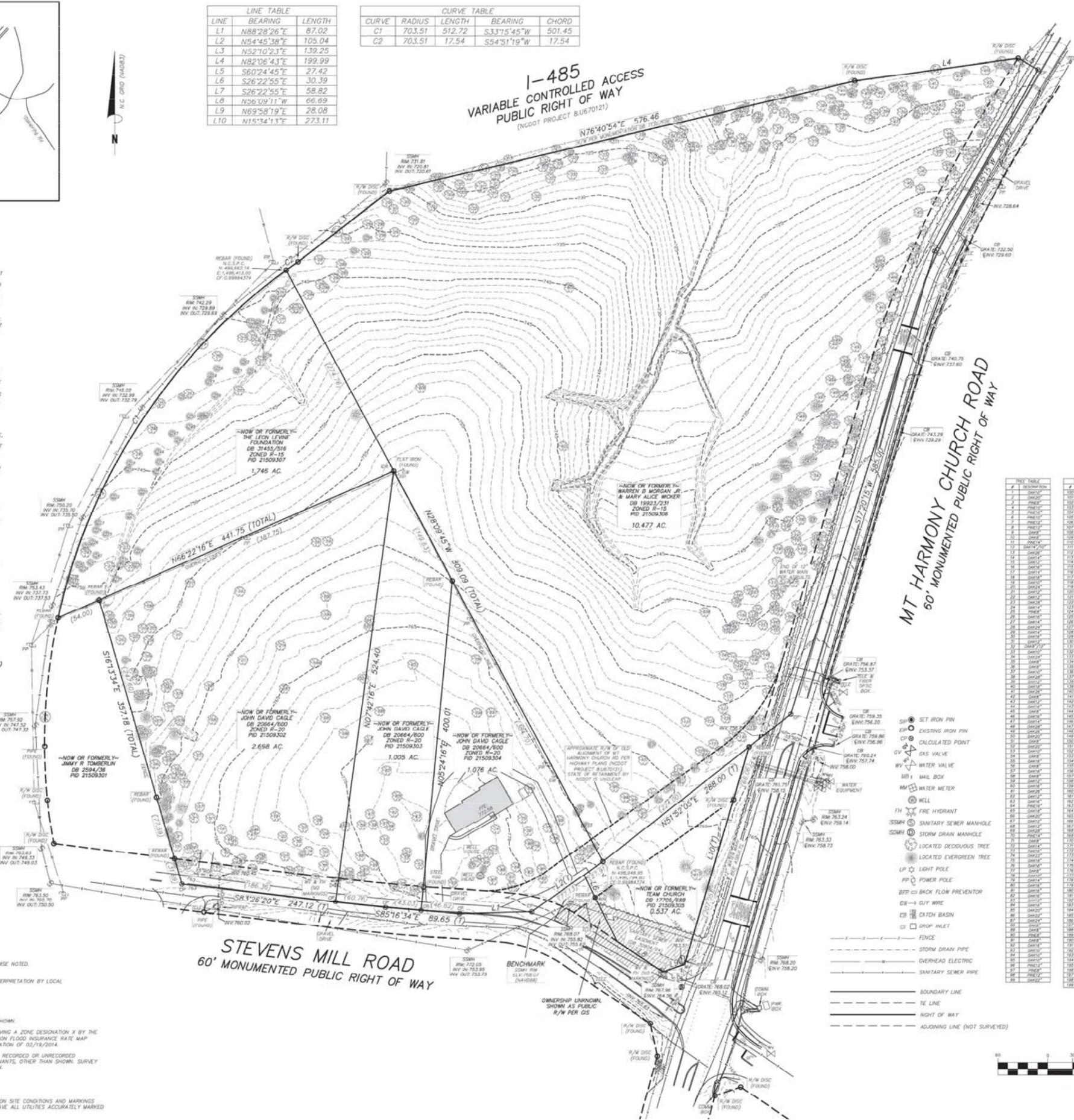
**1-485**  
VARIABLE CONTROLLED ACCESS  
PUBLIC RIGHT OF WAY  
(NGDOT PROJECT 8U670121)

PID 21509305  
COMMONWEALTH LAND TITLE INSURANCE COMPANY  
FILE NUMBER 18-0486  
COMMITMENT DATE: MAY 1, 2018 AT 08:00 AM  
SCHEDULE B - SECTION 8

- TERMS, PROVISIONS, OPTIONS, RIGHTS OF FIRST REFUSAL, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSIGNMENTS AND LIENS PROVIDED FOR IN RECIPROCAL EASEMENT AGREEMENT RECORDED IN BOOK 50728, PAGE 673, MECKLENBURG COUNTY REGISTRY, AND ANY RELATED MAPS, PLANS, BYLAWS AND OTHER DOCUMENTS AND AMENDMENTS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SERIAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW. (LOCATED OFFSITE)
- TERMS, PROVISIONS, OPTIONS, RIGHTS OF FIRST REFUSAL, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSIGNMENTS AND LIENS PROVIDED FOR IN DECLARATION OF COVENANTS FOR MAINTENANCE OF WATER QUALITY AND WATER QUANTITY CONTROL STRUCTURES RECORDED IN BOOK 30685, PAGE 176 (LOCATED OFFSITE) AND BOOK 30746, PAGE 176 (LOCATED OFFSITE), MECKLENBURG COUNTY REGISTRY, AND ANY RELATED MAPS, PLANS, BYLAWS AND OTHER DOCUMENTS AND AMENDMENTS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SERIAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.
- BUILDING RESTRICTION LINES, EASEMENTS AND OTHER MATTERS SHOWN ON PLAT RECORDED IN MAP BOOK 58, PAGE 762, MECKLENBURG COUNTY REGISTRY. (PLAT DESCRIBES PARCELS ACROSS MT HARMONY CHURCH RD)
- NOTICE OF ROADWAY CORRIDOR OFFICIAL MAP RECORDED IN BOOK 6258, PAGE(S) 243, MECKLENBURG COUNTY REGISTRY. (NOT PLOTTABLE)
- FREE SIMPLE DEED IN FAVOR OF THE DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 7664, PAGE(S) 713, MECKLENBURG COUNTY REGISTRY. (RIGHT-OF-WAY OF MT HARMONY CHURCH ROAD SHOWN)
- EASEMENT AGREEMENT IN FAVOR OF ALLTEL CAROLINA, INC. RECORDED IN BOOK 12427, PAGE(S) 342, MECKLENBURG COUNTY REGISTRY. (LOCATED OFFSITE)
- WASTEWATER TREATMENT AND DISPOSAL SYSTEM DESIGN AGREEMENT RECORDED IN BOOK 19041, PAGE(S) 832, MECKLENBURG COUNTY REGISTRY. (NOT PLOTTABLE)
- EASEMENT AGREEMENT IN FAVOR OF THE CITY OF CHARLOTTE RECORDED IN BOOK 30904, PAGE(S) 24, MECKLENBURG COUNTY REGISTRY. (APPROXIMATE AS SHOWN, EXHIBIT IS ILLUSTRATIVE)

- LEGEND:
- ESP = EXISTING IRON PIN
  - OP = OLD IRON PIPE
  - SIP = SET IRON PIN
  - R/W = RIGHT OF WAY
  - AC = AIR CONDITIONING
  - PPR = POWER PAD
  - PM = POWER METER
  - PP = POWER POLE
  - LP = LIGHT POLE
  - GM = GAS METER
  - TEL = TELEPHONE PEDESTAL
  - CTV = CABLE TELEVISION
  - WM = WATER METER
  - FES = FLARED END SECTION
  - RCP = REINFORCED CONCRETE PIPE
  - CMP = CORRUGATED METAL PIPE
  - CP = CORRUGATED PLASTIC PIPE
  - PVC = POLYVINYL CHLORIDE
  - DU = DESTINATION UNKNOWN
  - SD = STORM DRAINAGE EASEMENT
  - SDM = STORM DRAIN MANHOLE
  - CB = CATCH BASIN
  - YI = YARD INLET
  - OI = OIL INLET
  - SSE = SANITARY SEWER EASEMENT
  - SSM = SANITARY SEWER MANHOLE
  - CO = SEWER CLEAN OUT
  - BO = BACK OF CURB

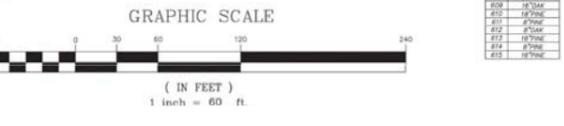
- NOTES:
- IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
  - PROPERTY ZONED AS SHOWN (SETBACKS & ZONING MATTERS ARE SUBJECT TO INTERPRETATION BY LOCAL MUNICIPALITIES)
  - TAX PARCEL NUMBERS AS SHOWN
  - DEED REFERENCES AS SHOWN
  - BOUNDARY SURVEY ONLY THROUGH POINTS AS SHOWN
  - THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP (FIRM) NO. 270448000, WITH A DATE OF GENERATION OF 02/19/2014.
  - THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL RECORDED OR UNRECORDED EASEMENTS, RIGHTS-OF-WAY, OR RESTRICTIVE COVENANTS, OTHER THAN SHOWN, SURVEY MADE WITHOUT THE BENEFIT OF A TITLE EXAMINATION.
  - AREA COMPUTED BY COORDINATED METHOD.
  - NO NCCS MONUMENT FOUND WITHIN 2000'.
  - UTILITY LOCATIONS SHOWN ARE LOCATED BASED ON SITE CONDITIONS AND MARKINGS AT THE TIME OF SURVEY. CONTRACTORS ARE TO HAVE ALL UTILITIES ACCURATELY MARKED PRIOR TO CONSTRUCTION.



**MT HARMONY CHURCH ROAD**  
50' MONUMENTED PUBLIC RIGHT OF WAY

**STEVENS MILL ROAD**  
60' MONUMENTED PUBLIC RIGHT OF WAY

LINE	BEARING	LENGTH	REMARKS
1	S16°13'41"E	351.18 (TOTAL)	
2	S16°22'16"E	441.75 (TOTAL)	
3	N76°40'54"E	576.46	
4	N76°40'54"E	576.46	
5	N76°40'54"E	576.46	
6	N76°40'54"E	576.46	
7	N76°40'54"E	576.46	
8	N76°40'54"E	576.46	
9	N76°40'54"E	576.46	
10	N76°40'54"E	576.46	
11	N76°40'54"E	576.46	
12	N76°40'54"E	576.46	
13	N76°40'54"E	576.46	
14	N76°40'54"E	576.46	
15	N76°40'54"E	576.46	
16	N76°40'54"E	576.46	
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18	N76°40'54"E	576.46	
19	N76°40'54"E	576.46	
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98	N76°40'54"E	576.46	
99	N76°40'54"E	576.46	
100	N76°40'54"E	576.46	



PID 21509306  
FIRST AMERICAN TITLE INSURANCE COMPANY  
FILE NUMBER 18-0486  
COMMITMENT DATE: FEBRUARY 26, 2018 AT 08:00 AM  
SCHEDULE B - SECTION 8

- RIGHT OF WAY IN FAVOR OF DUKE POWER COMPANY RECORDED IN BOOK 1858, PAGE(S) 462 (NOT PLOTTABLE, BLANKET IN NATURE), BOOK 2410, PAGE 154 (NOT PLOTTABLE, BLANKET IN NATURE), BOOK 2410, PAGE 157 (NOT PLOTTABLE, BLANKET IN NATURE) AND BOOK 2410, PAGE 160 (NOT PLOTTABLE, BLANKET IN NATURE), MECKLENBURG COUNTY REGISTRY.
- PERMIT FOR TELEPHONE LINE AND POWER LINE RIGHT OF WAY IN FAVOR OF NORTH CAROLINA TELEPHONE COMPANY RECORDED IN BOOK 1871, PAGE(S) 31, MECKLENBURG COUNTY REGISTRY. (NOT PLOTTABLE, BLANKET IN NATURE)
- RIGHT OF WAY AGREEMENT IN FAVOR OF THE NORTH CAROLINA STATE HIGHWAY COMMISSION RECORDED IN BOOK 2762, PAGE 304 (ROAD LOCATED OFFSITE), BOOK 2762, PAGE(S) 324 (ROAD LOCATED OFFSITE) AND BOOK 2762, PAGE 325 (ROAD LOCATED OFFSITE), MECKLENBURG COUNTY REGISTRY.
- NOTICE OF ROADWAY CORRIDOR OFFICIAL MAP RECORDED IN BOOK 6092, PAGE(S) 620 (NOT PLOTTABLE) AND BOOK 6258, PAGE 243 (NOT PLOTTABLE), MECKLENBURG COUNTY REGISTRY.
- FREE SIMPLE DEEDS IN FAVOR OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 7130, PAGE(S) 524 (LOCATED OFFSITE) AND BOOK 7130, PAGE 526 (AS SHOWN), MECKLENBURG COUNTY REGISTRY.

PID 21509302, 21509303, & 21509304  
FIRST AMERICAN TITLE INSURANCE COMPANY  
FILE NUMBER 18-0486  
COMMITMENT DATE: FEBRUARY 26, 2018 AT 08:00 AM  
SCHEDULE B - SECTION 8

- TITLE TO ANY PORTION OF LAND LYING WITHIN THE RIGHT OF WAY OF STEVENS MILL ROAD AND MT. HARMONY CHURCH ROAD, (RIGHTS OF WAY SHOWN)

PID 21509307  
FIRST AMERICAN TITLE INSURANCE COMPANY  
FILE NUMBER 18-0481  
COMMITMENT DATE: FEBRUARY 26, 2018 AT 08:00 AM  
SCHEDULE B - SECTION 8

- NOTICE OF ROADWAY CORRIDOR OFFICIAL MAP RECORDED IN BOOK 6092, PAGE(S) 620, MECKLENBURG COUNTY REGISTRY. (NOT PLOTTABLE)
- NOTICE OF ROADWAY CORRIDOR OFFICIAL MAP RECORDED IN BOOK 6258, PAGE(S) 243 [SIC, PAGE 243], MECKLENBURG COUNTY REGISTRY. (NOT PLOTTABLE)
- FREE SIMPLE DEED IN FAVOR OF THE DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 7774, PAGE(S) 406, MECKLENBURG COUNTY REGISTRY. (R/W SHOWN)

THIS IS TO CERTIFY TO CHICAGO TITLE INSURANCE COMPANY & 2020 VENTURES LLC THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACPS, AND INCLUDE ITEMS 1,2,3,4,6(a),7(a)(1)-(3),8,9,11,13,14 OF TABLE THEREOF. THE FIELD WORK WAS COMPLETED ON 10/26/17.

HUGH E. WHITE JR. DATE:

DATE	REVISIONS	SCALE: 1" = 60'
1/15/17	ADDITIONAL TITLE COMMITMENTS	2017/ALTA/MT HARMONY
3/16/18	ADDITIONAL TOPO	2017/ALTA/MT HARMONY
3/19/18	PID 21509305	DRAWN BY: NB
5/4/18	NEW TITLE COMMITMENTS	CHECKED BY: HW
		FIELD WORK: BC/GW
		NOVEMBER 10, 2017

CAROLINA SURVEYORS, INC.  
P.O. BOX 267 PINEVILLE, N.C. 28134 - 0267  
HUGH E. WHITE, JR., A.C.S., A.C.P.S., A.C.S.S., A.C.S.L.S., A.C.S.E.S., A.C.S.E.S.  
CERTIFICATE OF AUTHORIZATION N.C.L.C. 1517-8318

AN ALTA/ACPS LAND TITLE SURVEY SHOWING PROPERTY ON  
**MT HARMONY CHURCH ROAD**  
(NEAR THE INTERSECTION OF STEVENS MILL ROAD)  
SURVEYED FOR: CENTURY COMMUNITIES SOUTHEAST, LLC  
AREA: 17.539 ACRES  
TOWN OF MATTHEWS, MECKLENBURG COUNTY, NORTH CAROLINA

DEVELOPMENT STANDARDS

May 30, 2018

1. GENERAL PROVISIONS

- A. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Application filed by 2020 Venture LLC ("Applicant") for an approximately 17.58 acre site located on the northwest quadrant of the intersection of Stevens Mill Road and Mt. Harmony Church Road, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site"). The Site is comprised of Tax Parcel Nos. 215-093-02, 215-093-03, 215-093-04, 215-093-05, 215-093-06 and 215-093-07.
B. For entitlement purposes, the Site is divided into two separate development areas that are designated on the Rezoning Plan as Development Area A and Development Area B.
C. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the Town of Matthews Unified Development Ordinance (the "Ordinance").
D. Subject to the flexible design standards set out below in Section 8, the regulations established under the Ordinance for the R-VS zoning district shall govern the development and use of that portion of the Site designated as Development Area A on the Rezoning Plan.
E. The regulations established under the Ordinance for the R-15 zoning district shall govern the development and use of that portion of the Site designated as Development Area B on the Rezoning Plan.
F. The development and uses depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of the uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and, subject to the terms of these Development Standards and the Ordinance, are subject to minor alterations or modifications during the design development and construction document phases.

2. PERMITTED USES

A. Development Area A

- (1) That portion of the Site designated as Development Area A on the Rezoning Plan may only be devoted to a residential community containing a maximum of 123 for sale one-family attached dwelling units, and to any incidental or accessory uses relating thereto that are permitted in the R-VS zoning district.

B. Development Area B

- (1) That portion of the Site designated as Development Area B on the Rezoning Plan may only be devoted to tree save areas, common open space areas, landscaped areas, walking trails and storm water facilities that serve and are associated with the residential community to be located on Development Area A.

3. DIMENSIONAL STANDARDS

- A. Subject to the flexible design standards set out below in Section 8, the development of Development Area A shall comply with the applicable dimensional standards of the R-VS zoning district set out in Section 155.604 of the Ordinance and the dimensional standards set out in the Site Data table.
B. The development of Development Area B shall comply with the applicable dimensional standards of the R-15 zoning district.

4. TRANSPORTATION

- A. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Town of Matthews (the "Town") and/or the North Carolina Department of Transportation ("NCDOT").
B. As depicted on the Rezoning Plan, the Site will be served by internal public streets and internal private alleys, and minor adjustments to the locations of the internal public streets and the internal private alleys shall be allowed during the construction permitting process.

- C. Prior to the issuance of the sixty-fifth (65th) certificate of occupancy for a one-family attached dwelling unit constructed on the Site, Applicant shall install a temporary traffic signal at the intersection of Moore Road and Matthews-Mint Hill Road. Notwithstanding the foregoing, Applicant shall not be required to install this temporary traffic signal if it has been installed by others prior to the issuance of the sixty-fifth (65th) certificate of occupancy for a one-family attached dwelling unit constructed on the Site, or if the installation of the temporary traffic signal is not approved by NCDOT or the Town of Matthews.

- D. Subject to the approval of the Town and/or NCDOT and prior to the issuance of the first certificate of occupancy for a building to be constructed on the Site, Applicant shall install (by way of striping) a northbound left turn lane on Mt. Harmony Church Road at the vehicular access point into the Site from Mt. Harmony Church Road.

- E. Prior to the issuance of the first certificate of occupancy for a building to be constructed on the Site, Petitioner shall dedicate and convey to the Town or NCDOT (subject to a reservation for any necessary utility easements) those portions of the Site located immediately adjacent to Mt. Harmony Church Road as required to provide right of way measuring 35 feet from the centerline of the existing Mt. Harmony Church Road right of way, to the extent that such right of way does not already exist. The portion of the Site to be dedicated as right of way is generally depicted on the Rezoning Plan.

- F. A public access easement shall be provided over the private alleys located on the Site to the Town so that the Town can provide trash service and other public services to the residents of this residential community.

- G. Subject to the approval of NCDOT, the Town of Matthews and any other governmental agencies, Applicant shall install a pedestrian refuge island within Mt. Harmony Church Road in close proximity to the Site. The exact location of the pedestrian refuge island shall be determined during the permitting process. In the event that Applicant cannot obtain all approvals and permits required to install the pedestrian refuge island, then Applicant shall have no obligation to install the pedestrian refuge island. Permits for the development of the Site or the construction of the buildings to be located on the Site and certificates of occupancy for such buildings shall not be withheld or delayed in the event that Applicant cannot obtain all approvals and permits required to install the pedestrian refuge island, or in the event that Applicant is waiting to receive the required approvals or the denial of such approvals for the pedestrian refuge island after having applied for such approvals. Applicant shall not be required to undertake any widening of Mt. Harmony Church Road to accommodate a pedestrian refuge island.

5. STREETSCAPE TREATMENT

- A. A minimum 8 foot wide planting strip and a minimum 10 foot wide multi-use path shall be installed along the Site's frontage on Mt. Harmony Church Road as generally depicted on the Rezoning Plan. In the event that the multi-use path (or portions thereof) is not located within public right of way, then the multi-use path (or portions thereof) shall be located in a public sidewalk utility easement.
B. A minimum 8 foot wide planting strip and a minimum 6 foot wide sidewalk shall be installed along the Site's frontage on Stevens Mill Road as generally depicted on the Rezoning Plan. In the event that the sidewalk (or portions thereof) is not located within public right of way, then the sidewalk (or portions thereof) shall be located in a public sidewalk utility easement.

6. ARCHITECTURAL STANDARDS

- A. Attached to the Rezoning Plan are conceptual, schematic images of the front, side and rear elevations of the rear loaded one-family attached dwelling units to be constructed on the Site that are intended to depict the general conceptual architectural style, design treatment and character of the front, side and rear elevations of the rear loaded one-family attached dwelling units to be constructed on the Site. Accordingly, the front, side and rear elevations of each rear loaded one-family attached dwelling unit to be constructed on the Site shall be designed and constructed so that the front, side and rear elevations are substantially similar in appearance to one of the attached conceptual, schematic images. Notwithstanding the foregoing, changes and alterations to the front, side and rear elevations of the rear loaded one-family attached dwelling units to be constructed on the Site that do not materially change the overall conceptual architectural style, design treatment and character shall be permitted.

- H. Attached to the Rezoning Plan are conceptual, schematic images of the front, side and rear elevations of the front loaded one-family attached dwelling units to be constructed on the Site that are intended to depict the general conceptual architectural style, design treatment and character of the front, side and rear elevations of the front loaded one-family attached dwelling units to be constructed on the Site. Accordingly, the front, side and rear elevations of each front loaded one-family attached dwelling unit to be constructed on the Site shall be designed and constructed so that the front, side and rear elevations are substantially similar in appearance to one of the attached conceptual, schematic images. Notwithstanding the foregoing, changes and alterations to the front, side and rear elevations of the front loaded one-family attached dwelling units to be constructed on the Site that do not materially change the overall conceptual architectural style, design treatment and character shall be permitted.

- I. Applicant may subsequently propose additional conceptual, schematic images of the front, side and rear elevations of the one-family attached dwelling units to be constructed on the Site, and such additional conceptual, schematic images must be approved by the Matthews Board of Commissioners prior to the issuance of a building permit for a one-family attached dwelling unit that utilizes one of the additional conceptual, schematic images of the front elevation, side and rear elevations.

- J. The primary exterior building materials for the one-family attached dwelling units to be constructed on the Site shall be brick, stone and cementitious siding.

- K. Vinyl, EIFS or masonite may not be used as an exterior building material on the one-family attached dwelling units to be constructed on the Site. Notwithstanding the foregoing, vinyl may be utilized on windows, doors, garage doors, soffits, trim and railings.

- L. Each one-family attached dwelling unit in a building shall have its own exterior color palette, so that two or more one-family attached dwelling units located in separate buildings may utilize the same exterior color palette.

- M. The rear elevation of each one-family attached dwelling unit shall have the same color palette as the front elevation of such one-family attached dwelling unit, and the rear elevation of each one-family attached dwelling unit shall contain the same type of cementitious siding (e.g., shake siding, board and batten siding, horizontal siding) as the front elevation such one-family attached dwelling unit.

- N. Except as provided below in paragraph I, the one-family attached dwelling units to be constructed on the Site shall be rear loaded units.

- O. Notwithstanding paragraph H above, a maximum of 31 of the one-family attached dwelling units to be constructed on the Site may be front loaded units, and the locations of such front loaded units are generally depicted on Sheet RZ-2 of the Rezoning Plan.

- P. The maximum height of the buildings to be constructed on the Site shall be 35 feet as measured under the Ordinance.

- Q. Each rear loaded one-family attached dwelling unit that fronts and is adjacent to Mt. Harmony Church Road shall have a step with a minimum height of 18 inches from the immediately adjacent sidewalk or walkway to the front stoop located at the front entry door into such rear loaded one-family attached dwelling unit.

- R. Each rear loaded one-family attached dwelling unit located on the Site that does not front and is not adjacent to Mt. Harmony Church Road shall have a step with a minimum height of 12 inches from the immediately adjacent sidewalk or walkway to the front stoop located at the front entry door into such rear loaded one-family attached dwelling unit.

- S. Each rear loaded one-family attached dwelling unit constructed on the Site shall have a covered front porch with a minimum depth of 5 feet.

- T. The front facade of each one-family attached dwelling unit constructed on the Site shall be setback a minimum of 2 feet from the front facade(s) of the adjacent one-family attached dwelling unit(s), or located a minimum of 2 feet in front of the front facade(s) of the adjacent one-family attached dwelling unit(s). The rear facade of each one-family attached dwelling unit constructed on the Site shall be setback a minimum of 2 feet from the rear facade(s) of the adjacent one-family attached dwelling unit(s), or located a minimum of 2 feet in front of the rear facade(s) of the adjacent one-family attached dwelling unit(s). The purpose of this requirement is to break up the facades and rooflines of the buildings containing the one-family attached dwelling units. A typical detail depicting these conditions is set out on the Rezoning Plan.

- U. The garage door on each front loaded one-family attached dwelling unit shall be a carriage style garage door and the garage door shall contain hardware.

- V. Each one-family attached dwelling unit constructed on the Site shall have a two car garage and a driveway with a minimum depth of 20 feet.

- W. The HVAC unit for each one-family attached dwelling unit shall be located at the rear of the one-family attached dwelling unit.

7. SCREENING

- A. A tree save area shall be established along the Site's common boundary lines with the adjacent parcel of land designated as Tax Parcel No. 215-093-01 as generally depicted on the Rezoning Plan. In addition to the trees that shall be saved, supplemental trees and shrubs shall be installed within this tree save area located adjacent to Tax Parcel No. 215-093-01 so that it meets the tree and shrub standards depicted on the Typical 100' Landscape Area Section set out on Sheet RZ-2 of the Rezoning Plan. If any trees or shrubs installed by Applicant within this tree save area die within one (1) year of the date of installation, Applicant shall replace such dead tree or shrub.

- B. A 6 foot tall wooden privacy fence shall be installed within the tree save area described above in paragraph 7.A as depicted on the Rezoning Plan. This 6 foot tall wooden privacy fence shall be located a minimum of 10 feet from the Site's boundary lines, and the fence may meander to save existing trees. The 6 foot tall wooden privacy fence shall be maintained by the homeowners association for the residential community to be located on the Site, and the homeowners association shall make any required repairs to this fence within thirty (30) days of receiving notice of the need for such repairs.

8. FLEXIBLE DESIGN STANDARDS

- A. Pursuant to Sections 155.503.1.H and 155.401.7 of the Ordinance, the following flexible design standards shall apply to the development of the Site and shall be deemed to be approved in the event that the Rezoning Application is approved by the Board of Commissioners:

- (1) Minimum Lot Area: 1,760 square feet per dwelling unit.
(2) Minimum Lot Width: 20 feet.
(3) Minimum Setback: Rear loaded units - 7 feet from the right of way
Front loaded units - 20 feet from the right of way
(4) Minimum Side Yard: 0, 5 feet for end unit.
(5) Minimum Building Separation: 10 feet.

- B. The portion of the Site utilizing flexible design standards contains approximately 5.76 acres as generally depicted on Sheet RZ-3 of

the Rezoning Plan.

9. SIGNS

- A. All signs installed on the Site shall comply with the requirements of the Ordinance.

10. LIGHTING

- A. Outdoor lighting fixtures installed on the Site shall comply with the requirements of the Outdoor Illumination provisions of the Ordinance.

11. COMMON OPEN SPACE

- A. Common open space areas shall be provided on the Site as generally depicted on Sheet RZ-2 of the Rezoning Plan.
B. The common open space areas may contain, among other things, benches and other seating elements, picnic tables, lighting, structures such as gazebos and shelters, landscaping and hardscape.

- C. A minimum 400 square foot covered open air structure shall be constructed within the approximately .77 acre common open space/amenity to be located in the center of the Site as generally depicted on the Rezoning Plan.

- D. Outdoor cooking grills shall be located within the approximately .77 acre common open space/amenity to be located in the center of the Site.

- E. Walking trails shall be installed on the Site as generally depicted on the Rezoning Plan.

12. BINDING EFFECT OF THE REZONING APPLICATION

- A. If this Rezoning Application is approved, all conditions applicable to the development and/or use of the Site imposed under this Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Applicant and the current and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Applicant" and "owner" or "owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Applicant or the owner or owners of the Site from time to time who may be involved in any future development thereof.



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MT. HARMONY TOWN HOUSES  
REZONING PETITION No. 2017-674  
MATTHEWS, NORTH CAROLINA  
DEVELOPMENT STANDARDS

REVISIONS  
DATE: 11/29/2017 DESIGNED BY: KST  
04/08/2018 - PER STAFF COMMENTS  
DRAWN BY: AEE  
CHECKED BY: KST  
05/05/2018 - PER STAFF COMMENTS  
C.C.BY: KST  
PROJECT #: 1017211

SHEET #: RZ-7