

COMMUNITY MEETING REPORT
Applicant: Mpire Capital Corporation
Rezoning Application No. 2018-691

This Community Meeting Report is being filed with the Town of Matthews Planning Department pursuant to the provisions of the Town of Matthews Unified Development Ordinance.

PERSONS AND ORGANIZATIONS CONTACTED:

A representative of the Applicant mailed a written notice of the date, time and location of the Community Meeting to the individuals and organizations set out on Exhibit A-1 attached hereto by depositing such notice in the U.S. mail on November 2, 2018. A copy of the written notice is attached hereto as Exhibit A-2.

DATE, TIME AND LOCATION OF MEETING:

The Community Meeting was held on Thursday, November 15, 2018 at 7:00 PM in the Fellowship Hall at Mt. Harmony Baptist Church located at 2817 Mt. Harmony Church Road in Matthews, North Carolina.

PERSONS IN ATTENDANCE AT MEETING:

The Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit B. The Applicant's representatives at the Community Meeting were Todd Akers of KW Commercial, Klayton Hahn of Meritage Homes, Michael Theberge of Bohler Engineering, Andrew Eagle of Ramey Kemp & Associates, and John Carmichael of Robinson Bradshaw & Hinson, P.A.

SUMMARY OF ISSUES DISCUSSED:

The Applicant's representatives utilized a power point presentation during the Community Meeting, a copy of which is attached hereto as Exhibit C.

John Carmichael welcomed the attendees to the Community Meeting and introduced himself and the Applicant's representatives.

John Carmichael then provided the agenda for the Community Meeting.

John Carmichael stated that this is the official Community Meeting relating to Rezoning Application No. 2018-691. John Carmichael stated that Mpire Capital Corporation is the Applicant.

John Carmichael then provided the current schedule of events relating to this rezoning request. The Public Hearing is currently scheduled to be held on Monday, December 10, 2018 at 7:00 PM at the Matthews Town Hall. The Planning Board, according to the Town's rezoning schedule, will consider this rezoning request at its meeting on Tuesday, December 25, 2018 at 7:00 PM at the Matthews Town Hall. Of course, this meeting will be rescheduled. John Carmichael stated that at this time, he does not know the date on which the Planning Board meeting will be held. Finally, the Town Board of Commissioners is currently scheduled to render a decision on this rezoning request on Monday, January 14, 2019 at 7:00 PM at the Matthews Town Hall. John Carmichael stated that it is possible that the rezoning schedule could be delayed as a result of potential revisions to the rezoning plan or for other reasons.

Utilizing aerial photographs, John Carmichael stated that the rezoning site is located on the southeast quadrant of the I-485-Idlewild Road interchange. The site contains approximately 23.60 acres.

John Carmichael then shared a slide that depicts the current zoning of the site. John Carmichael stated that the site is currently zoned R-15.

John Carmichael stated that the Applicant is requesting that this approximately 23.60 acre site be rezoned from the R-15 zoning district to the R-VS, R-15(CD) and B-1(CD) zoning districts to accommodate the development of a maximum of 122 for sale townhome units on the site and a maximum of 50,000 square feet of commercial uses on the site. Of the 50,000 square feet of commercial uses that would be permitted on the site, a maximum of 20,000 square feet could be devoted to retail, restaurant, micro-brewery uses and brewpub uses.

John Carmichael stated that the current Rezoning Plan filed with the Town of Matthews would allow lounges and nightclubs to be located on the site, however, these uses will be deleted from the Applicant's revised Rezoning Plan, as the Applicant has no desire to locate these types of uses on the site.

John Carmichael stated that the maximum height of the townhome units would be thirty-five feet, and the exterior building materials would be a combination of brick, stone and cementitious siding. Vinyl would only be permitted on windows, doors, garage doors, soffits, trim and railings.

The maximum height of a commercial building would be forty feet. With respect to the proposed commercial buildings, the site plan and building elevations would have to be approved by the Matthews Board of Commissioners prior to the issuance of any building permits.

Michael Theberge then reviewed and discussed the Applicant's Rezoning Plan. Michael Theberge showed and discussed the main boulevard into the site, and he stated that there would be a landscaped median in the center of the main boulevard. Michael Theberge stated that it would be a welcoming entrance into the site.

Michael Theberge stated that the proposed development has been designed in a manner that recognizes the natural features of the site. The trees would be maintained on the northwesterly portions of the site and in other locations. The townhome community would contain an amenity that would have a swimming pool and a pavilion with restrooms, and a playground would also be located in the townhome community.

Michael Theberge stated that the townhome units would be a combination of rear-loaded and front-loaded units. Michael Theberge pointed out the locations on the site where on-street parking would be located. Michael Theberge showed the location of a pedestrian trail on the site.

Michael Theberge stated that the site would have vehicular and pedestrian connectivity to the shopping center located to the south of the site. Additionally, there would be a vehicular connection from the site to the traffic signal on Idlewild Road. Michael Theberge stated that the Matthews portion of the site would be part of a larger development that would also be located within the Town of Stallings. Michael Theberge shared and discussed the site plan that shows the Matthews portion of this proposed development and the Stallings portion of this proposed development. Michael Theberge stated that the Stallings portion of this proposed development would contain townhomes, apartments and commercial uses.

John Carmichael stated that the Stallings portion of this proposed development does not require a rezoning. However, the developer would be required to enter into a development agreement with the Town of Stallings.

Michael Theberge stated that this would be a walkable community.

Michael Theberge stated that the primary entrance into the site would be from the existing traffic signal on Idlewild Road.

Klayton Hahn then addressed the meeting. He stated that he is with Meritage Homes and Meritage Homes is proposed to be the builder of these townhome units.

Klayton Hahn stated that the townhomes would be a mixture of front-loaded townhomes and rear-loaded townhomes.

Klayton Hahn stated that there is a high walkability factor to this proposed community. Klayton Hahn stated that the product that is being proposed for this site is being designed for this particular site.

Klayton Hahn then shared progress elevations of the proposed townhome units. Klayton Hahn stressed that Meritage Homes is continuing to work on the design of the townhome units and the elevations, and he reiterated that these are progress elevations. The design of the proposed townhome units will evolve over the next several weeks. More refined elevations for the townhome units should be available at the Public Hearing on this rezoning request.

Klayton Hahn stated that Meritage Homes is currently building in ten to twelve communities in the Charlotte area. Klayton Hahn stated that Meritage Homes designs and builds efficient townhome units, and that these townhome units would be well insulated. Meritage Homes utilizes a spray foam insulation. As a result of how well insulated these townhome units would be, Meritage Homes is not worried about noise generated from I-485.

Klayton Hahn stated that Meritage Homes utilizes the most up-to-date technology in its townhome units. For instance, every townhome unit would have a Ring doorbell. With respect to exterior building materials on the townhome units, Klayton Hahn stated that the exterior building materials would include cementitious siding, cementitious shake and cementitious board and batten. The townhome units would also have brick and stone accents.

Klayton Hahn stated that the townhome units would be two stories.

Klayton Hahn stated that the townhomes would range in size from approximately 1,500 square feet to approximately 2,000 square.

Klayton Hahn stated that granite countertops and stainless steel appliances would be installed in the townhome units. Klayton Hahn also stated that ceramic tile would be installed in the townhome units.

In response to a question as to why Meritage Homes is proposing two types of product on this site (front-loaded and rear-loaded), Klayton Hahn stated that Meritage Homes feels that there needs to be a mixture of product within this proposed community so that it does not get monotonous. Also, some people prefer front-loaded townhome units and some people prefer rear-loaded townhome units.

In response to a question, Klayton Hahn stated that the rear-loaded townhome units were typically bigger than the front-loaded townhome units.

Todd Akers then addressed the Community Meeting and he briefly discussed the proposed commercial uses. Todd Akers stated that the developer wants to include service retail and service uses to serve this proposed residential community and the immediate area. When residents come home from work, they could stop and get a bite to eat or shop on the site.

With respect to the commercial area on the Stallings side of this proposed development, Todd Akers stated that a hotel or office uses could be located on the Stallings side of this proposed development.

Todd Akers stated that office uses could also be located on the Matthews side of this proposed development. For example, you could have retail uses or restaurant uses located on the first floor of a building, and office uses on the second floor of a building.

Michael Theberge stated that the proposed commercial buildings could be one-story buildings or two-story buildings.

Todd Akers stated that the idea is to provide retail, restaurant and service uses to area residents. At this point, we do not know who the specific tenants or what the specific uses would be. The commercial component of this proposed development is probably three to four years down the road.

John Carmichael reiterated that the developer would have to get site plan approval and building elevation approval from the Matthews Board of Commissioners for any building that would be developed in the commercial component of the proposed development in Matthews.

Todd Akers then showed pictures of what the commercial buildings in Matthews could potentially look like.

Andrew Eagle then addressed the meeting and briefly discussed the traffic study that he has submitted to the Town of Matthews, the Town of Stallings and the North Carolina Department of Transportation in connection with this proposed development. Andrew Eagle showed an aerial photograph that depicts the intersections that were studied for the traffic study.

Andrew Eagle stated that a purpose of a traffic study is to determine the number of trips generated by a potential development and the impacts on the transportation system of a potential development, and to determine what improvements the developer needs to install to mitigate the impacts of a proposed development. Andrew Eagle stated that the purpose of a traffic study is not to identify improvements that would fix existing traffic issues, but rather, improvements that need to be installed by the developer to mitigate the impacts of a proposed development.

Andrew Eagle stated that in preparing the traffic study, he coordinated with the Town of Stallings, the Town of Matthews and the North Carolina Department of Transportation.

Andrew Eagle stated that the traffic study has not been finalized for this proposed development. Andrew Eagle shared a slide that depicts the improvements that are recommended to be installed by the developer of this proposed development under the traffic study.

Andrew Eagle stated that the recommended improvements could be revised when he gets additional feedback from the Town of Stallings, the Town of Matthews and the North Carolina Department of Transportation.

Andrew Eagle stated that Idlewild Road is planned to be widened and improved by the North Carolina Department of Transportation, and the improvements that would be installed by the developer of this site would be compatible with what NCDOT will do to Idlewild Road.

An attendee stated that this is already a high-traffic area, and the addition of these townhomes and apartments will only increase the traffic in the area.

A discussion then ensued regarding the road into the site from the traffic signal on Idlewild Road. Michael Theberge described the road. Michael Theberge stated that the Town of Stallings will ultimately take over the maintenance of that road.

Michael Theberge stated that a portion of that road will have on-street parking.

Michael Theberge stated that the road will have four lanes near and at Idlewild Road and then it will convert to two lanes with on-street parking.

An attendee's company has property adjacent to this road and he stated that he is concerned with being able to have truck deliveries to his company's site if the road is only two lanes with on-street parking. His access point needs to be forty feet wide for truck deliveries. A discussion ensued as to how this could possibly be handled. Michael Theberge stated that he would get with representatives of Northeast Tools to discuss this issue.

An attendee asked if the Monroe Bypass will help mitigate traffic from this proposed development. Andrew Eagle stated that the Monroe Bypass was not considered in the traffic study.

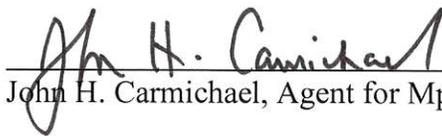
In response to a question, Todd Akers stated that if this rezoning request is approved and the development agreement is approved in the Town of Stallings, then it might be possible for construction to start in the Fall of 2019.

The Community Meeting was adjourned and John Carmichael thanked everyone for attending.

CHANGES MADE TO THE APPLICATION AS A RESULT OF THE COMMUNITY MEETING AS OF THE DATE HEREOF:

No changes have been made to the rezoning plan or to the Rezoning Application as of the date of this Community Meeting Report solely as a result of the Community Meeting.

Respectfully submitted, this 28th day of November, 2018



John H. Carmichael, Agent for Mpire Capital Corporation

Exhibit A-1

Mecklenburg

Parcel No. 21514122

Department of Transportation
716 W Main Street
Albemarle, NC 28001

Parcel No. 21514121

PCM Holdings LLC
PO Box 67
Matthews, NC 28106

Parcel No. 21514110

PCM Holdings LLC
PO Box 67
Matthews, NC 28106

Parcel No. 21514112

Sheri Outen Holmes
Wesley Holmes
4600 Stallings Road
Matthews, NC 28105

Parcel No. 21514115

Stephen Howard Edwards
4608 Stallings Road
Matthews, NC 28105

Parcel No. 21514114

Stephen Howard Edwards
4608 Stallings Road
Matthews, NC 28105

Parcel No. 21514113

George H. Francis
Sue Elias Francis
4624 Stallings Road
Matthews, NC 28105

Parcel No. 21514117

Jack Brewer
Joyce Brewer
4700 Stallings Road
Matthews, NC 28105

Parcel No. 21514109

Idlewild Oaks LLC
2220 Providence Canyon Dr
Charlotte, NC 28270

Parcel No. 21514108

Idlewild Oaks LLC
2220 Providence Canyon Dr
Charlotte, NC 28270

Parcel No. 21514105

Idlewild Oaks LLC
2220 Providence Canyon Dr
Charlotte, NC 28270

Parcel No. 21514106

Idlewild-Stallings LLC
c/o L & L Management LLC
6000 Fairview Road Suite 1525
Charlotte, NC 28210

Parcel No. 21514107

Billy Hugh Sustar
13039 Lawyers Road
Charlotte, NC 28227

Parcel No. 21514119

Idlewild-Stallings LLC
c/o L & L Management LLC
6000 Fairview Road Suite 1525
Charlotte, NC 28210

Parcel No. 19511208

Department of Transportation
716 W Main Street
Albemarle, NC 28001

Parcel No. 19511207

Richard D. Johnson
Elizabeth Lee Johnson
18808 Coveside Lane
Cornelius, NC 28031

Parcel No. 19511214

R T Steele
Alicia J. Steele
14623 Idlewild Road
Matthews, NC 28105

Parcel No. 19511213

Land Investments LLC
PO Box 31786
Charlotte, NC 28231

Union

Parcel No. 07075021

Land Investments LLC
PO Box 31786
Charlotte, NC 28231

Parcel No. 07075020

JLA3 LLC
2121 Bucknell Ave
Charlotte, NC 28207

Parcel No. 07075019

JLA3 LLC
2121 Bucknell Ave
Charlotte, NC 28207

Parcel No. M7075012

XON I LLC
c/o Sam's Mart
7935 Council Place Ste 200
Matthews, NC 28105

Parcel No. K7075012

XON I LLC
c/o Sam's Mart
7935 Council Place Ste 200
Matthews, NC 28105

Parcel No. K7075256

CAH Holdings LLC
1521 E Third St
Charlotte, NC 28204

Parcel No. 07075257

CFI-NC, LLC
6151 Fair Oaks Blvd Ste 109
Carmichael, CA 95608

Parcel No. 07075258

Northlake MF JV2 LLC et al
c/o Withrow Capital Inc.
1341 East Morehead Street, Suite 201
Charlotte, NC 28204

Parcel No. M7075256

CAH Holdings LLC
1521 E Third St
Charlotte, NC 28204

Parcel No. M7075013A

Idlewild Phase 1 Retail Investors LLC
3735-B Beam Road
Charlotte, NC 28217

Parcel No. M7075013B

Idlewild Phase 1 Retail Investors LLC
3735-B Beam Road
Charlotte, NC 28217

Parcel No. 07075293

Idlewild Phase 1 Retail Investors LLC
3735-B Beam Road
Charlotte, NC 28217

Parcel No. 07075011

Danny E Price
Robin C Price
14812 Boyd Funderburk Drive
Matthews, NC 28104

Parcel No. K7075013B

Idlewild Phase 1 Retail Investors LLC
3735-B Beam Road
Charlotte, NC 28217

Parcel No. 07075011B

Dee L Rittenour
Patricia A Rittenour
14809 Boyd Funderburk Road
Matthews, NC 28105

**NOTICE TO INTERESTED PARTIES
OF COMMUNITY MEETING**

Subject: Community Meeting -- **Rezoning Application No. 2018-691** filed by Mpire Capital Corporation to request the rezoning of an approximately 23.60 acre site located on the southeast quadrant of the Interstate 485 – Idlewild Road interchange from the R-15 zoning district to the R-VS, R-15 (CD) and B-1 (CD) zoning districts

Date and Time of Meeting: Thursday, November 15, 2018 at 7:00 p.m.

Place of Meeting: Mt. Harmony Baptist Church
Fellowship Hall
2817 Mt. Harmony Church Road
Matthews, NC 28105

We are assisting Mpire Capital Corporation (the “Applicant”) in connection with a Rezoning Application it has filed with the Town of Matthews requesting the rezoning of an approximately 23.60 acre site located on the southeast quadrant of the Interstate 485 – Idlewild Road interchange from the R-15 zoning district to the R-VS, R-15 (CD) and B-1 (CD) zoning districts. The purpose of this rezoning request is to accommodate a multi-use development on the site that would be comprised of a maximum of 122 for sale one-family attached dwelling units (townhomes), and a maximum of 50,000 square feet of commercial uses, which could include office, retail and restaurant uses.

The Applicant will hold a Community Meeting prior to the Public Hearing on this Rezoning Application for the purpose of discussing this rezoning proposal with nearby property owners. The Mecklenburg County Tax Records indicate that you are an owner of property that is located near the site.

Accordingly, on behalf of the Applicant, we give you notice that representatives of the Applicant will hold a Community Meeting regarding this rezoning request on Thursday, November 15, 2018 at 7:00 p.m. in the Fellowship Hall at Mt. Harmony Baptist Church located at 2817 Mt. Harmony Church Road in Matthews, NC. Representatives of the Applicant look forward to sharing this rezoning proposal with you and to answering your questions.

In the meantime, should you have any questions or comments, please call John Carmichael at (704) 377-8341.

Robinson, Bradshaw & Hinson, P.A.

cc: Mr. Jay Camp, Town of Matthews (via email)

Date Mailed: November 2, 2018



**Mpire Capital Corporation, Applicant
Rezoning Application No. 2018-691**

Community Meeting Sign-in Sheet

**Mt. Harmony Baptist Church
Fellowship Hall
2817 Mt. Harmony Church Road
Matthews, NC 28105**

Thursday, November 15, 2018

7:00 P.M.



	<u>NAME</u>	<u>ADDRESS</u>	<u>TELEPHONE</u>	<u>EMAIL ADDRESS</u>
1.	Gerald + Robin Funderburk	Matthews, NC 28104 14910 Boyd Funderburk Dr.	704-882-7540	funderburk01@windstream.net
2.	Matthew Flora	15200 Idlewild Rd Matthews NC 28104 Matthews NC 28104	704-882-1187	carant@netadnc.com
3.	Dec + Pat Rullenour	14807 Boyd Funderburk Dr. Matthews, NC 28104	704-219-1864	patrit777@aol.com
4.	Steve EDWARDS	4608 Stallings Rd ²⁸¹⁰⁵ MATTHEWS, NC	704-499-2704	SEdwards6360@yahoo.com
5.	Tyler Gria	15020 Idlewild Rd ²⁸¹⁰⁴ Matthews, NC	980-406-0077	Tyler.gria@yahoo.com
6.	Doug / Teri Marsh	15120 Idlewild Rd Matthews NC	704-361-1409	doug.marsh55@yahoo.com
7.				
8.				
9.				
10.				
11.				
12.				

Rezoning Application No. 2018-691

Mpire Capital Corporation, Applicant

Community Meeting
November 15, 2018



Agenda

- I. Introduction of Rezoning Team Members
- II. Rezoning Schedule
- III. Site/Existing Zoning/Rezoning Request
- IV. Review of the Site Plan
- V. Review of Proposed Townhome Units
- VI. Transportation
- VII. Question, Answer and Comment Session

Rezoning Team

- Todd Akers, KW Commercial
- Klayton Hahn, Meritage Homes
- Michael Theberge, Bohler Engineering
- Andrew Eagle, Ramey Kemp & Associates
- John Carmichael, Robinson, Bradshaw & Hinson

Current Rezoning Schedule

- Public Hearing: Monday, December 10, 2018 at 7:00 PM at the Matthews Town Hall
- Planning Board: Tuesday, December 25, 2018 at 7:00 PM at the Matthews Town Hall (this will be rescheduled)
- Town Board Decision: Monday, January 14, 2019 at 7:00 PM at the Matthews Town Hall

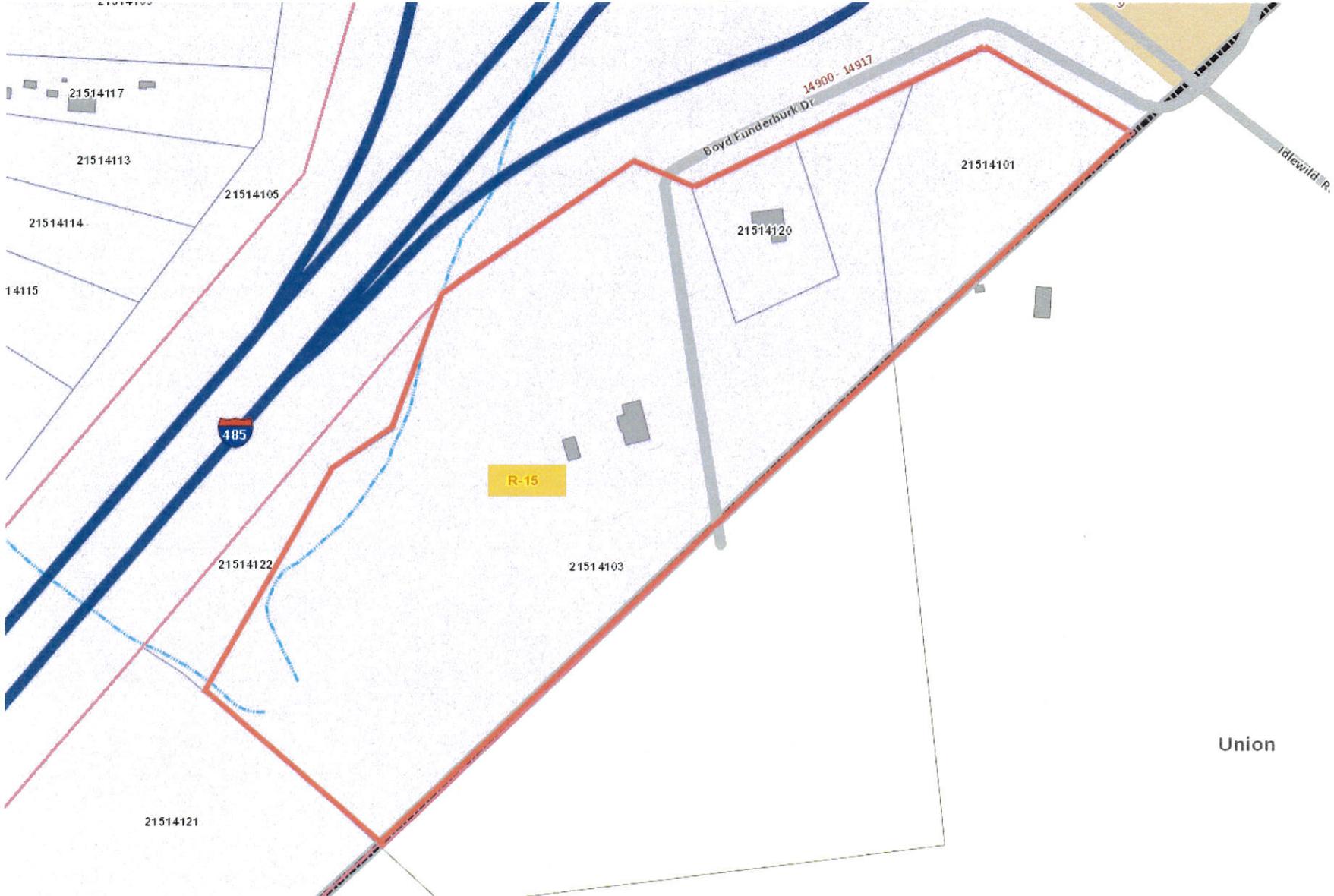
Site – Approximately 23.60 Acres



Aerial Photograph of the Immediate Area



Site – Existing Zoning



Rezoning Request

- Requesting that the site be rezoned from the R-15 zoning district to the R-VS, R-15 (CD) and B-1 (CD) zoning districts to accommodate the development of:
- (1) A maximum of 122 for sale townhome units on the site; and

Rezoning Request

- (2) Up to 50,000 square feet of commercial uses on the site.
 - A maximum of 20,000 square feet of the commercial space could be devoted to retail, restaurant, microbrewery uses and brewpub uses.



Site Plan



DEVELOPMENT SUMMARY	
<u>MATTHEWS:</u>	
FRONT LOAD:	59
REAR LOAD:	63
TOTAL:	122
<u>STALLINGS:</u>	
FRONT LOAD:	79
REAR LOAD:	46
TOTAL:	125
<u>TOTAL NUMBER OF TOWNHOMES</u>	
FRONT LOAD (21' WIDTH):	138
REAR LOAD (24' WIDTH):	109
TOTAL:	247



IDLEWILD MIXED-USE DEVELOPMENT

MATTHEWS/STALLINGS, NC



82-18-CORR-160312196

THE INFORMATION, DESIGN AND CONCEPTS OF THIS PLAN AND PROVISIONS ARE BASED UPON ALL INFORMATION AND DATA PROVIDED TO THE ENGINEER BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION AND DATA PROVIDED TO THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION AND DATA PROVIDED TO THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION AND DATA PROVIDED TO THE CLIENT.

Rezoning Application No. 2018-691

Mpire Capital Corporation, Applicant

Community Meeting
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Rezoning Application No. 2018-691

Mpire Capital Corporation, Applicant

Community Meeting
November 15, 2018



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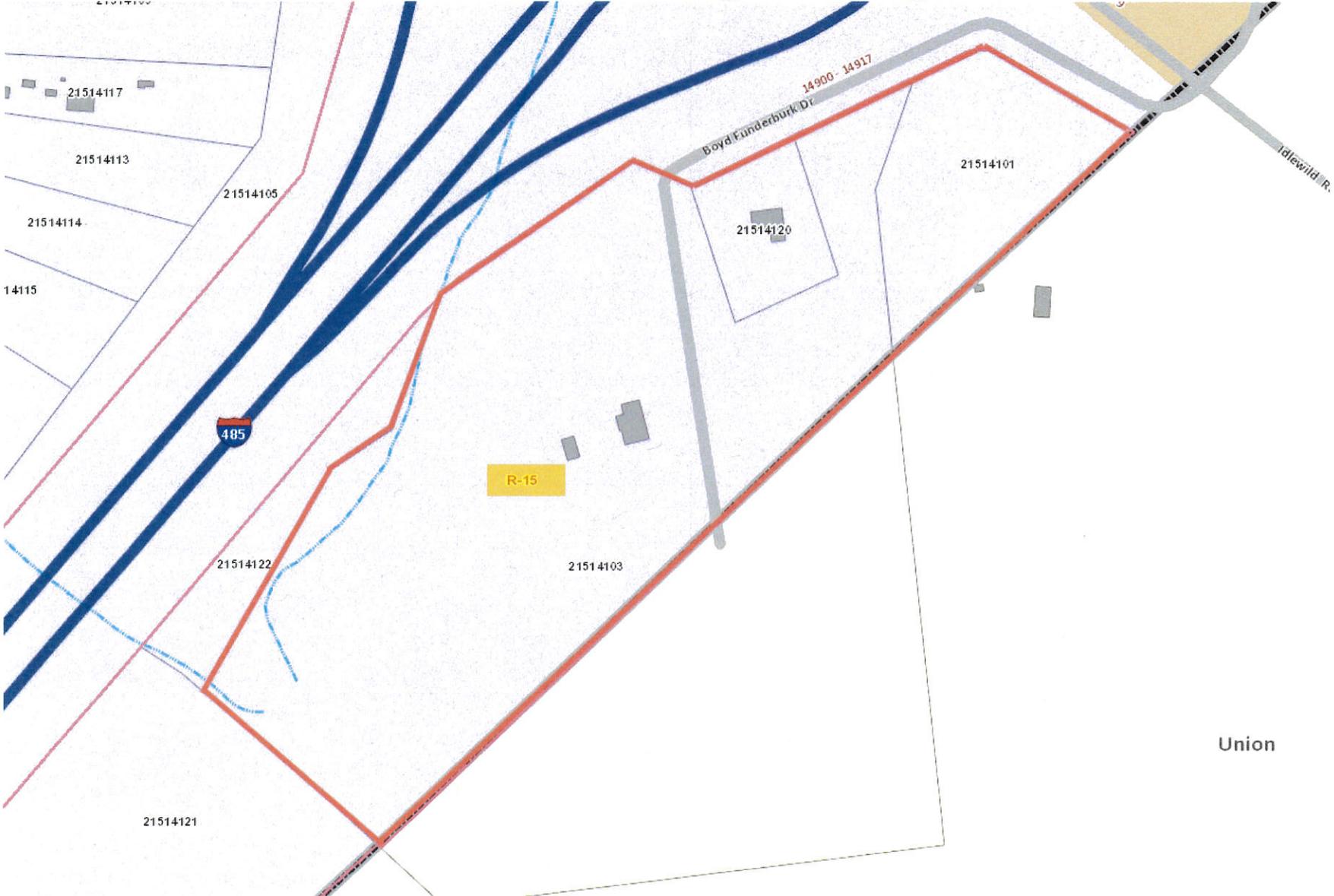
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Aerial Photograph of the Immediate Area



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IDLEWILD MIXED-USE DEVELOPMENT

MATTHEWS/STALLINGS, NC



82-18-CDR-160312146

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Overall Site Plan (Matthews and Stallings)

Rezoning Team

- Todd Akers, KW Commercial
- Klayton Hahn, Meritage Homes
- Michael Theberge, Bohler Engineering
- Andrew Eagle, Ramey Kemp & Associates
- John Carmichael, Robinson, Bradshaw & Hinson

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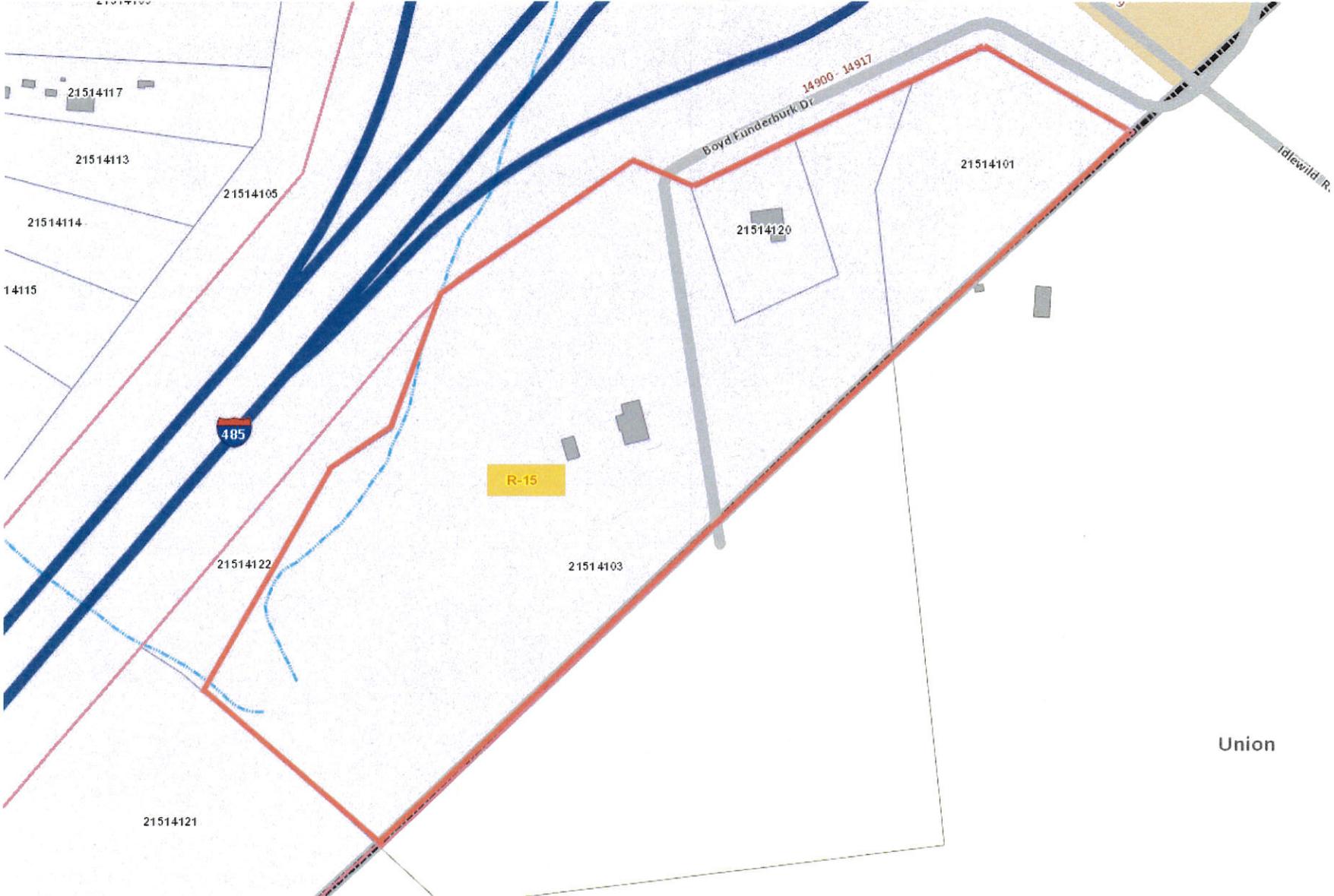
Site – Approximately 23.60 Acres



Aerial Photograph of the Immediate Area



Site – Existing Zoning



Union

Rezoning Request

- Requesting that the site be rezoned from the R-15 zoning district to the R-VS, R-15 (CD) and B-1 (CD) zoning districts to accommodate the development of:
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IDLEWILD MIXED-USE DEVELOPMENT

MATTHEWS/STALLINGS, NC



82-18-CORR-160312198

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Overall Site Plan (Matthews and Stallings)



Overall Site Plan (Matthews and Stallings)



DEVELOPMENT SUMMARY

MATTHEWS:

FRONT LOAD: 59
 REAR LOAD: 63
 TOTAL: 122

STALLINGS:

FRONT LOAD: 79
 REAR LOAD: 46
 TOTAL: 125

APARTMENTS: 216 TOTAL
 IN 8 BUILDINGS

TOTAL NUMBER OF TOWNHOMES

FRONT LOAD (21' WIDTH): 138
 REAR LOAD (24' WIDTH): 109
 TOTAL: 247



BOHLER
 ENGINEERING NC, PLLC

1821 S. BIRCH STREET, SUITE 200, WILSON, NC 27597
 PHONE: 252-235-7700 FAX: 252-235-7701
 WWW.BOHLER-ENGINEERING.COM

IDLEWILD MIXED-USE DEVELOPMENT

MATTHEWS/STALLINGS, NC

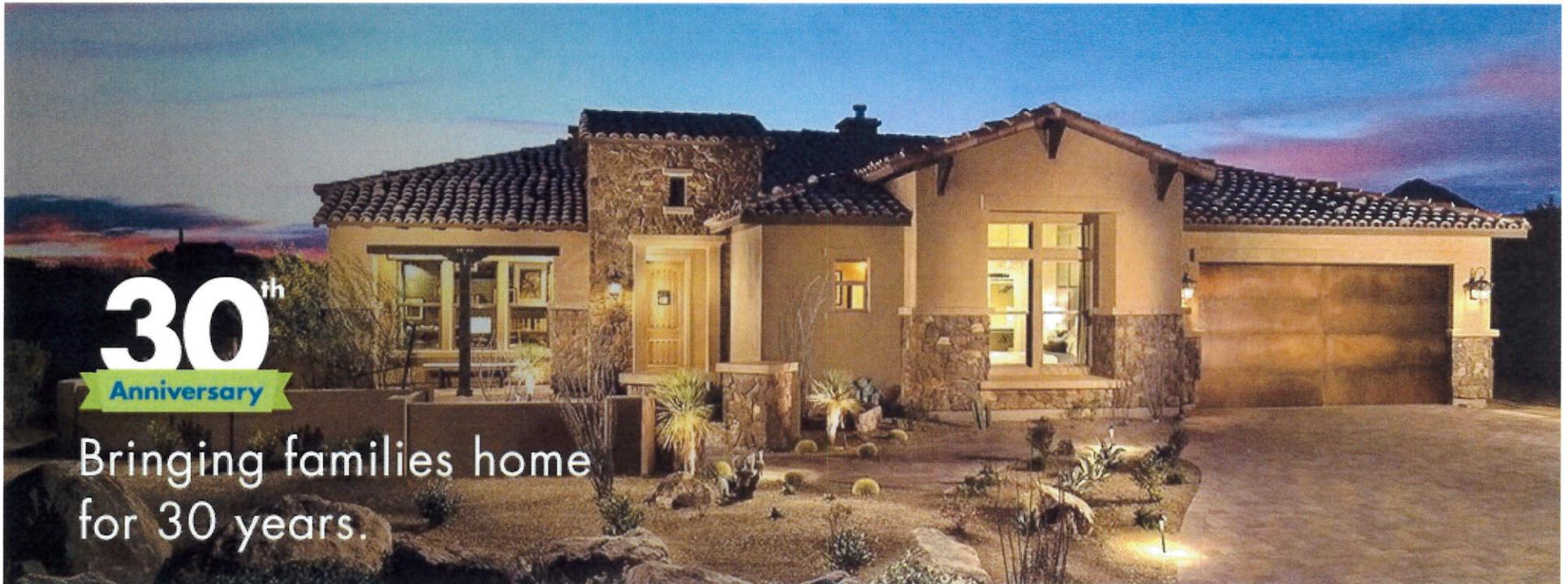


0.2"=1' (SHEET NO. 0172166)



Townhome Units

Meritage Homes - 24' Alley Load Townhome Elevations

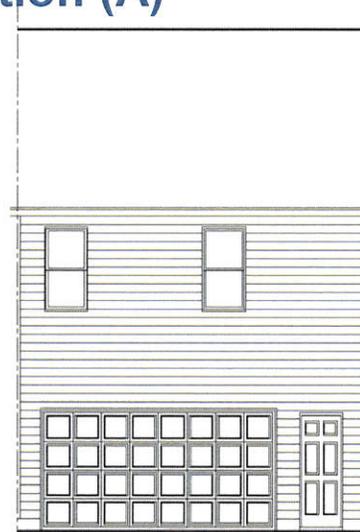


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24' Alley Load Elevation (A)



24' Left Side Elevation



24' Rear Elevation



24' Right Side Elevation



24' Front Elevation

Product Key Notes:

- Cementitious Siding Product
 - siding
 - panel battens
- Metal Coil Gutters
- Aluminum Fascia
- Vinyl Soffit
- Architectural Shingles
- Brick (per elevation)
- Decorative Louver (per elevation)
- Decorative Column

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Untitled Map

Write a description for your map.

Legend

- Davidson Gateway Dr & Jetton St



Google Earth

©2018 Google

9.92 ft

Untitled Map

Write a description for your map.

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Google Earth

©2018 Google

7.56 ft



Untitled Map

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Untitled Map

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Legend

- Davidson Gateway Dr & Jetton St



Google Earth

©2018 Google

8.27 ft



Transportation



Idlewild Road
Mathews, NC

Site Location Map

Scale: Not to Scale Figure 1



LEGEND

- Proposed Site Location
- TIA Study Intersection
- Stallings Tech Memo Study Intersection

