

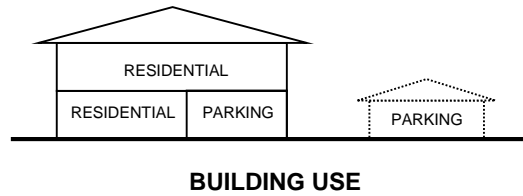
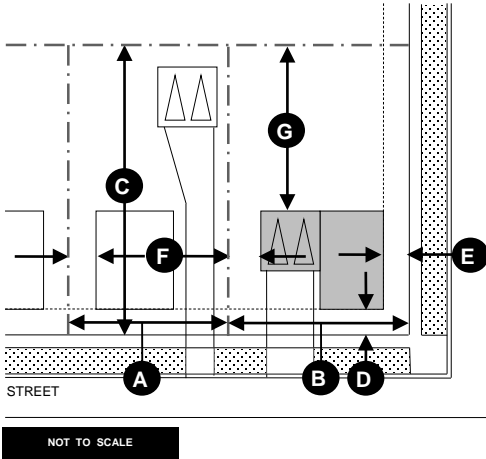
155.605. Lot Development Standards

155.605.1. Residential Only Buildings.

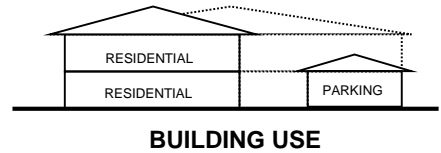
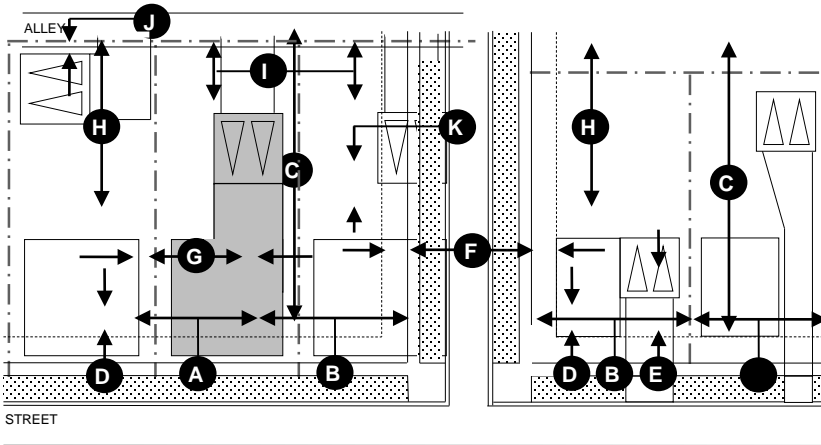
A. ONE- AND TWO-UNIT RESIDENTIAL BUILDINGS

1. TYPE A-1 BUILDING: SINGLE-FAMILY DETACHED HOUSE. Single-family detached dwelling units may take a variety of forms, including:

Front Vehicular Access – typical suburban, contemporary style home on a detached lot meeting required minimum front setback, side and rear yard standards, with vehicular drive access from the front or corner street side



Rear Vehicular Access – contemporary home on a detached lot meeting required minimum front setback, side and rear yard standards, with vehicular drive access via a rear alley (public or private)



Accessory Apartment – a detached home on a lot with an accessory apartment within an accessory building on the same lot (illustration)

House and Accessory Unit Within Principal Building – a detached homes with an accessory dwelling within the same principal dwelling structure (illustration)

- a. Type A-1 Building is allowed in the following districts when adhering to the lot standards and dimensional requirements as given:

TOWN OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-20	§ 155.604.1	Residential	Residential/Parking
R-15	§ 155.604.1	Residential	Residential/Parking
R-12	§ 155.604.1	Residential	Residential/Parking
R-9	§ 155.604.1	Residential	Residential/Parking
R-MH	§ 155.604.1	Residential	Residential/Parking
R-15MF	§ 155.604.1	Residential	Residential/Parking
R-12MF	§ 155.604.1	Residential	Residential/Parking
O	§ 155.604.2	Residential	Residential/Parking
HUC	§ 155.604.2	Residential	Residential/Parking
R-VS	§§ 155.604.3 & 155.604.4	Residential	Residential/Parking
CrC	§§ 155.604.3 & 155.503.2	Residential	Residential/Parking
SRN	§ 155.604.3	Residential	Residential/Parking

- b. CONDITIONS OR RESTRICTIONS. Accessory apartments shall meet the provisions at § 155.506.9. Conditions may be added through site plan or conditional zoning actions.
 - c. Accessory residential structures. See § 155.601.20.
2. TYPE A-2 BUILDING: ZERO LOT LINE DETACHED HOUSE. A zero lot line house may be placed on a lot where standard front setback and side and rear yards apply to all but one side or rear yard. When this one minimum building yard is eliminated so the structure sits at the lot line, a maintenance easement is required on the adjacent lot.

ZERO LOT LINE HOUSE – DETACHED (illustration)

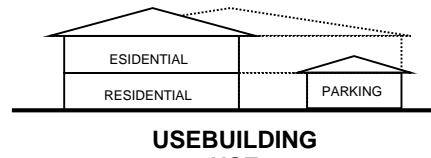
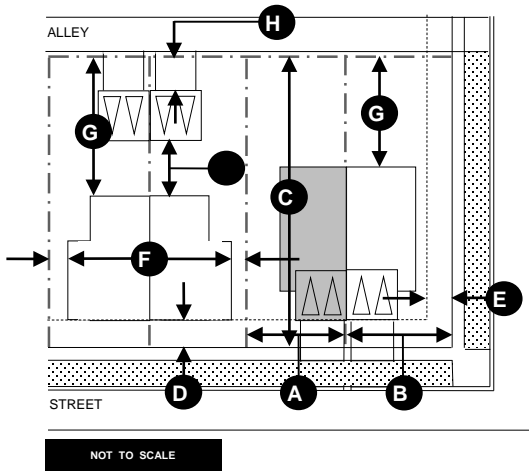
- a. Type A-2 Building is allowed in the following districts when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-15MF	§ 155.604.1 ¹	Residential	Residential/Parking
R-12MF	§ 155.604.1 ¹	Residential	Residential/Parking
R-VS	§§ 155.604.3 ¹ & 155.604.4	Residential	Residential/Parking
CrC	§§ 155.604.3 ¹ & 155.503.2	Residential	Residential/Parking
SRN	§ 155.604.3 ¹	Residential	Residential/Parking
C-MF	§ 155.604.3 ¹	Residential	Residential/Parking
MUD	§ 155.604.3 ¹	Residential	Residential/Parking

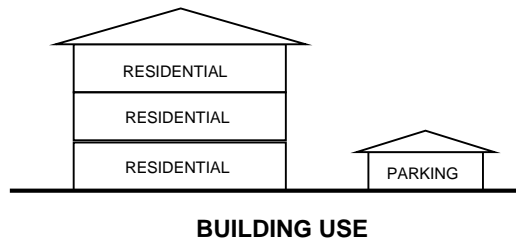
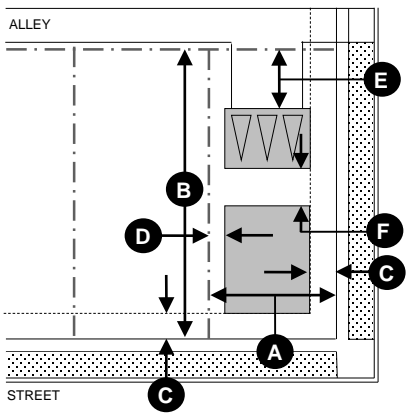
¹ See § 155.601.11.C.

- b. CONDITIONS OR RESTRICTIONS. The zero lot line shall not be the on streetside of a corner parcel. Where conditions are allowed, and when two (2) or more detached zero lot line houses are in a row, they shall utilize a consistent pattern of zero lot lines (i.e., all use the east side yard line) to create a private side courtyard for adjacent properties.
 - c. Accessory residential structures. See § 155.601.20.
3. TYPE A-3 BUILDING: TWO-FAMILY OR DUPLEX. A residential building with two (2) separate dwellings, generally side-by-side and each having their own private lockable entrance, located on one lot. A two-family dwelling may also have one dwelling unit stacked on top of the other on a single lot. A two-family or duplex design is different from an accessory unit within a single-family home due to interior floor area.

Side-by-side Duplex



Stacked Flat



- a. Type A-3 Building is allowed in the following districts when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-15MF	§ 155.604.1	Residential	Residential/Parking
R-12MF	§ 155.604.1	Residential	Residential/Parking
O	§ 155.604.2	Residential	Residential/Parking
HUC	§ 155.604.2	Residential	Residential/Parking
R-VS	§§ 155.604.3 & 155.604.4	Residential	Residential/Parking
CrC	§§ 155.604.3 & 155.503.2	Residential	Residential/Parking
SRN	§ 155.604.3	Residential	Residential/Parking
C-MF	§ 155.604.3	Residential	Residential/Parking
MUD	§ 155.604.3	Residential	Residential/Parking

- b. CONDITIONS OR RESTRICTIONS. None apply but may be added through site plan or conditional zoning actions.
- c. Accessory residential structures. See § 155.601.20.
4. TYPE A-4 BUILDING: MANUFACTURED HOME. A single-family dwelling constructed to HUD standards rather than North Carolina State Building code may be located either within a manufactured home park or a manufactured home subdivision. Site-built or modular construction homes and related accessory structures may also be associated with the housing development.

Manufactured home (illustration)

- a. Type A-4 Building is allowed in the R-MH district in a platted and recorded subdivision of individual lots or within a park setting, as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-MH	§ 155.604.1 for subdivisions	Residential	Residential
	§ 155.502.5 for parks	Residential	Residential

- b. **CONDITIONS OR RESTRICTIONS.** Manufactured homes must have been constructed after July 1, 1976 and must meet or exceed the construction standards of the United States Department of Housing and Urban Development that were in effect at the time of construction. In addition, manufactured homes shall also meet the following criteria:

- i.* All manufactured homes shall have a minimum of six hundred (600) square feet, and when located on individual lots, shall be placed so that their longest axis is nearly parallel to the front lot line;
- ii.* All manufactured homes shall have a minimum width of nine feet (9’);
- iii.* The pitch of the roof shall have a minimum vertical rise of three feet (3’) for each twelve feet (12’) of horizontal run;
- iv.* The towing apparatus, wheels, axles, and transporting lights shall be removed and not included in the length and width measurement;
- v.* All manufactured homes shall be set up in accordance with the standards set by the North Carolina Department of Insurance;
- vi.* Each manufactured home shall have a continuous masonry, metal, or vinyl curtain around its entire base which is unpierced except for required ventilation and access. Skirting materials shall be compatible with the exterior finish of the manufactured home. In addition, any access panel shall not be installed on the elevation facing the front lot line. It is the intent of this subsection to eliminate the exposure of the undercarriage of the manufactured housing unit and to prevent the harborage of rodents and other vermin which constitute a threat to the public health and safety;
- vii.* The exterior siding shall consist of one or more of the following:
 - vinyl or aluminum lap siding whose reflectivity does not exceed that of a flat white paint; or
 - cedar or other wood siding; or
 - brick or stone siding
- viii.* Stairs, porches, entrance platforms, ramps, and other means of entrance and exit to and from the manufactured housing unit shall be installed or constructed in compliance with the North Carolina State Building Code, attached firmly to the primary structure and anchored firmly to the ground in a permanent fashion. Stairs shall only be used in conjunction with a porch or entrance platform with a minimum dimension (length and width) of five feet (5’). It is the intent of this subsection to prohibit the use of stairs only at any entrance to a manufactured home.
- viii.* Before a manufactured home placement permit is issued, verification of an operative septic system or connection to a public sewer system, and connection to a potable water supply shall be required.

- c. **ACCESSORY RESIDENTIAL STRUCTURES.** No storage shall be allowed on or around a manufactured home other than items contained in a completely enclosed storage facility. This requirement does not include the storage of operable grills, bicycles, and other items that are clearly incidental to the dwelling unit. Also see § 155.601.20.

5. **Type A-5 BUILDING: COTTAGE CLUSTER.** This style of housing involves multiple detached structures sharing

a tract of land with shared common amenities and shared open space.

Cottage cluster (illustration)

- a. Type A-5 Building is allowed in the following districts when adhering to the standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-20	§ 155.506.22	Residential	Residential/Parking
R-15	§ 155.506.22	Residential	Residential/Parking
R12	§ 155.506.22	Residential	Residential/Parking
R-9	§ 155.506.22	Residential	Residential/Parking
R-15MF	§ 155.506.22	Residential	Residential/Parking
R-12MF	§ 155.506.22	Residential	Residential/Parking
R-VS	§ 155.506.22	Residential	Residential/Parking
CrC	§§ 155.506.22 & 155.503.2	Residential	Residential/Parking
SRN	§ 155.506.22	Residential	Residential/Parking

- b. Conditions or restrictions. See § 155.506.22.
 c. Accessory residential structures. See § 155.601.20.

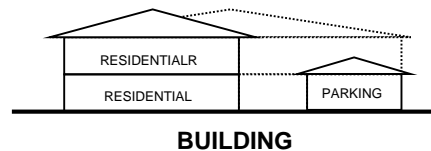
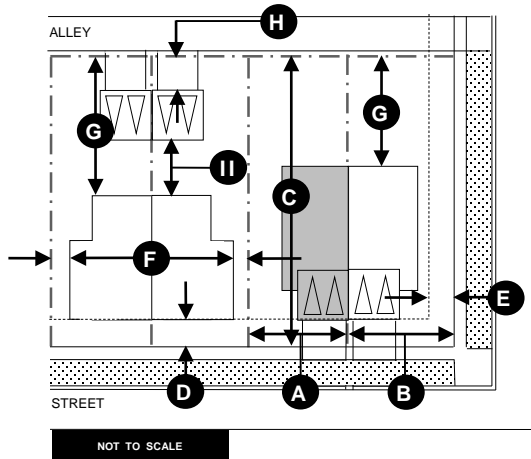
B. ATTACHED HOUSING WITH INDIVIDUAL LOTS

1. TYPE B-1 BUILDING: SINGLE-FAMILY ATTACHED HOUSE. Single-family attached dwelling units may take a variety of forms, including:

Attached Row with Front Vehicular Access – multiple units attached side-by-side meeting required minimum front setback and rear yard standards, with vehicular drive access from the front or corner street side

Attached Row with Rear Vehicular Access – multiple units attached side-by-side meeting require front setbacks, with vehicular access via a rear alley (public or private)

Attached Row, front and rear access



Pinwheel, Quadraplex, Triplex and similar – multiple dwellings attached at various walls such that front doors are situated along different angled planes, so that units are arranged other than in a straight line row

Pinwheel, triplex (illustrations)

TOWN OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE

- a. Type B-1 Single-Family Attached Building is allowed in the following districts when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-15MF	§ 155.604.1	Residential	Residential/Parking
R-12MF	§ 155.604.1	Residential	Residential/Parking
HUC	§ 155.604.2	Residential	Residential/Parking
R-VS	§§ 155.604.3 & 155.604.4	Residential	Residential/Parking
CrC	§§ 155.604.3 & 155.503.2	Residential	Residential/Parking
SRN	§ 155.604.3	Residential	Residential/Parking
C-MF	§ 155.604.3	Residential	Residential/Parking
MUD	§ 155.604.3	Residential </td <td>Residential/Parking</td>	Residential/Parking
TS	§ 155.604.3	Residential	Residential/Parking
ENT	§ 155.604.3	Residential	Residential/Parking

- b. CONDITIONS OR RESTRICTIONS. None apply but may be added through site plan or conditional zoning actions.

- c. Accessory residential structures. See § 155.601.20.

2. TYPE B-2 BUILDING: MEDIUM DENSITY ECOLOGICAL DEVELOPMENT. Medium density Ecological Development is an optional design of housing that coordinates and encourages human dwellings in close association with wildlife in an urban environment.

(illustration)

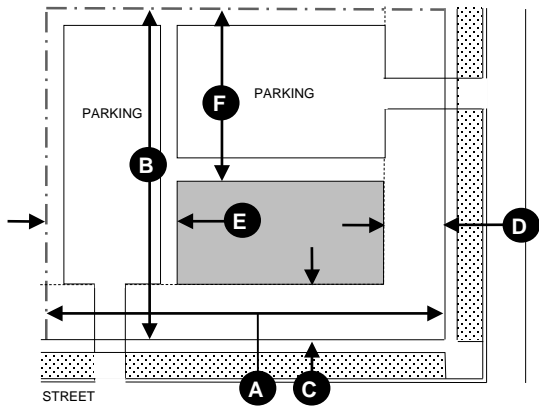
- a. Type B-2 Medium Density Ecological Housing is allowed in the following districts when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-VS	§ 155.506.23	Residential	Residential/Parking
CrC	§§ 155.506.23 & 155.503.2	Residential	Residential/Parking
SRN	§ 155.506.23	Residential	Residential/Parking
C-MF	§ 155.506.23	Residential	Residential/Parking
MUD	§ 155.506.23	Residential	Residential/Parking
ENT	§ 155.506.23	Residential	Residential/Parking

- b. CONDITIONS OR RESTRICTIONS. See § 155.506.23.

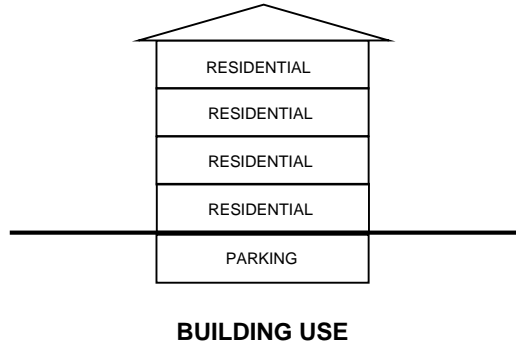
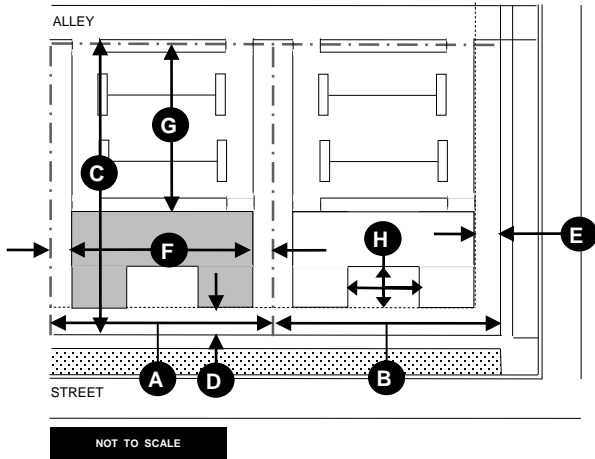
- c. Accessory residential structures. See § 155.601.20.

3. TYPE B-3 BUILDING: Multi-Family Residential within a Building or Buildings



NOT TO SCALE





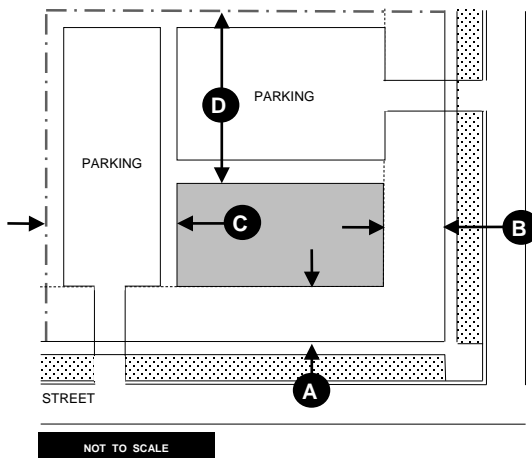
- a. Type B-3 Multi-Family Residential is allowed in the following districts when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-15MF	§ 155.604.1	Residential	Residential/Parking
R-12MF	§ 155.604.1	Residential	Residential/Parking
HUC	§ 155.604.2	Residential	Residential/Parking
B-1	§ 155.604.2	Residential	Residential/Parking
SRN	§ 155.604.3	Residential	Residential/Parking
C-MF	§ 155.604.3	Residential	Residential/Parking
MUD	§ 155.604.3	Residential	Residential/Parking
TS	§ 155.604.3	Residential	Residential/Parking
ENT	§ 155.604.3	Residential	Residential/Parking

- b. CONDITIONS OR RESTRICTIONS. None apply but may be added through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, within garage structures, or as the lower level(s) of a building with other uses.
- c. Accessory residential structures. See § 155.601.20.

155.605.2. Institutional Buildings.

- A. Institutional Buildings, for churches and places of worship, schools, hospitals, CCRCs, and similar institutional settings.



1. TYPE I-1 BUILDING: Buildings for institutional uses within the Traditional residential districts.
 - a. Type I-1 Institutional facilities are allowed in some or all of the following districts (see Tables of Allowed Uses at § 155.505) when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-20	§ 155.506.7	Institutional	Institutional
R-15	§ 155.506.7	Institutional	Institutional
R-12	§ 155.506.7	Institutional	Institutional
R-9	§ 155.506.7	Institutional	Institutional
R-MH	§ 155.506.7	Institutional	Institutional
R-VS	§ 155.506.7	Institutional	Institutional
CrC	§§ 155.506.7 & 155.503.2	Institutional	Institutional

- b. CONDITIONS OR RESTRICTIONS. Some institutional uses without assembly areas may be allowed in other zoning districts, as provided in the Tables of Allowed Uses at § 155.505. In those cases, the dimensional requirements for lots and building placement for the underlying zoning district shall control. Additional conditions may be applied to any institutional use through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, within garage structures, or as the lower level(s) of a building with other uses.
 - c. Accessory structures and uses. See § 155.601.20.
2. TYPE I-2 BUILDING: Facilities in the R/I district which do not include any common assembly areas.
 - a. Type I-2 Institutional facilities in the R/I district shall meet the following dimensional standards:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R/I only		Institutional & Residential	Institutional, Residential, and Parking
	Minimum lot area	2 ac	
	Minimum lot width	200'	
	Minimum front setback	50'	
	Minimum side yard	50'	
	Minimum rear yard	50'	
	Maximum height	60' ¹	

¹ Structures may exceed the maximum height, provided that the required side and rear yards be increased one foot (1') for each foot (or fraction of a foot) in height over sixty feet (60'), and provided the Fire Chief or County Fire Marshal confirms there is adequate firefighting equipment available locally or through mutual aid.

- b. CONDITIONS OR RESTRICTIONS. Additional conditions may be applied to any institutional use through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, within garage structures, or as the lower level(s) of a building with other uses.
 - c. Accessory structures and uses. See § 155.601.20.
3. TYPE I-3 BUILDING: Facilities in the R/I district which include one or more assembly rooms, any one of which has the capacity to contain more than two hundred (200) but less than one thousand (1,000) persons.
 - a. Type I-3 Institutional facilities in the R/I district shall meet the following dimensional standards:

District	Lot/Dimensional Standards	Building Usage
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TOWN OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE

	Upper Floors	Ground Floor
R/I only	Institutional & Residential	Institutional, Residential, and Parking
	Minimum lot area	2 ac
	Minimum lot width	200'
	Minimum front setback	50'
	Minimum side yard	50'
	Minimum rear yard	50'
	Maximum height	60' ¹

¹ Structures may exceed the maximum height, provided that the required side and rear yards be increased one foot (1') for each foot (or fraction of a foot) in height over sixty feet (60'), and provided the Fire Chief or County Fire Marshal confirms there is adequate firefighting equipment available locally or through mutual aid.

- b. **CONDITIONS OR RESTRICTIONS.** Additional conditions may be applied to any institutional use through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, within garage structures, or as the lower level(s) of a building with other uses.
 - c. Accessory structures and uses. See § 155.601.20.
4. Type I-4 Building: Facilities in the R/I district which include one or more assembly rooms, any of which has the capacity to contain one thousand (1,000) or more persons.
- a. Type I-4 Institutional facilities in the R/I district shall meet the following dimensional standards:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R/I only		Institutional & Residential	Institutional, Residential, and Parking
	Minimum lot area	10 ac	
	Minimum lot width	250'	
	Minimum front setback	50'	
	Minimum side yard	50'	
	Minimum rear yard	50'	
	Maximum height	60' ¹	

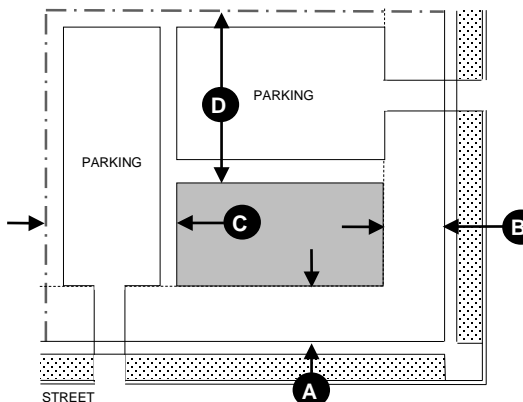
¹ Structures may exceed the maximum height, provided that the required side and rear yards be increased one foot (1') for each foot (or fraction of a foot) in height over sixty feet (60'), and provided the Fire Chief or County Fire Marshal confirms there is adequate firefighting equipment available locally or through mutual aid.

- b. **CONDITIONS OR RESTRICTIONS.** Additional conditions may be applied to any institutional use through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, within garage structures, or as the lower level(s) of a building with other uses.
- c. Accessory structures and uses. See § 155.601.20.

155.605.3. Commercial and Mixed Use Buildings.

A. NONRESIDENTIAL USES BUILDINGS

- 1. **TYPE C-1 BUILDING: Office, Service, Restaurant, Retail Sales, Single Story.**



NOT TO SCALE

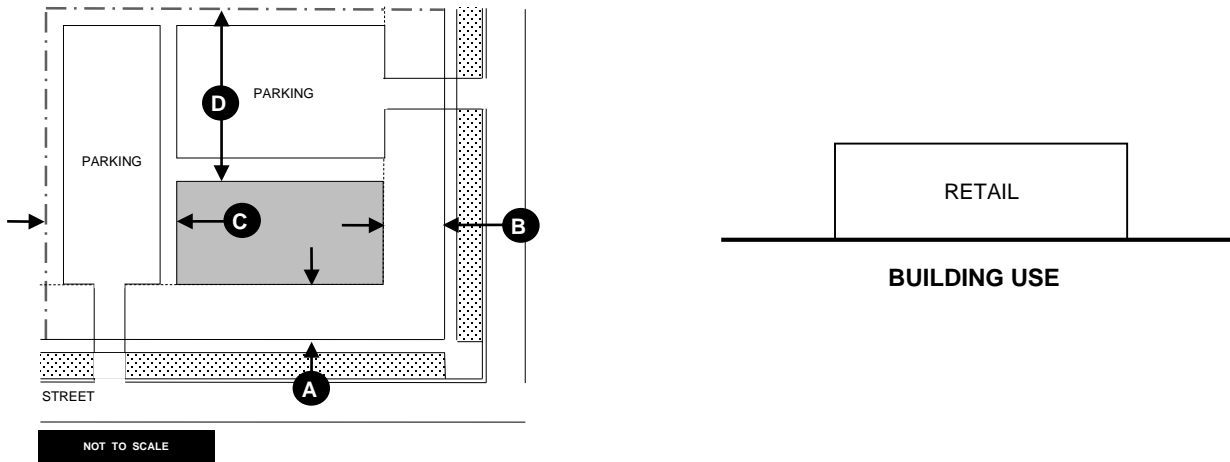
- a. Type C-1 Single story nonresidential uses buildings are allowed in some or all of the following districts (see Tables of Allowed Uses at § 155.505) when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
R-20, R-15, R-12, R-9, R-MH, R-VS, CrC	§ 155.506 (specific uses only)	NA	Nonresidential
R-15MF, R-12MF	§ 155.506 (specific uses only)	NA	Nonresidential
SRN, C-MF	§ 155.604.5	NA	Nonresidential
R/I, O, HUC, B-1, B-3, B-D, B-H, I-1, I-2	§ 155.604.2	NA	Nonresidential
MUD, TS, B-1SCD, ENT, AU	§ 155.604.3	NA	Nonresidential

- b. CONDITIONS OR RESTRICTIONS. Additional conditions may be applied through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, or within garage structures.

- c. Accessory structures and uses. See § 155.601.20.

2. TYPE C-2 BUILDING: Nonresidential Uses, Multiple Stories.



- a. Type C-2 multi-story nonresidential uses buildings are allowed in some or all of the following districts (see Tables of Allowed Uses at § 155.505) when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
SRN, C-MF	§ 155.604.5	Nonresidential	Nonresidential/Parking
R/I, O, HUC, B-1, B-3, B-D, B-H, I-1, I-2	§ 155.604.2	Nonresidential	Nonresidential/Parking
MUD, TS, B-1SCD,			

TOWN OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE

ENT, AU § 155.604.3 Nonresidential Nonresidential/Parking

- b. CONDITIONS OR RESTRICTIONS. Additional conditions may be applied through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, within garage structures, or as the lower level(s) of a building with other uses.
- c. Accessory structures and uses. See § 155.601.20.

B. Mixed Use Buildings, Residential and Nonresidential

1. TYPE C-3 BUILDING: Mixed uses including both residential units and nonresidential establishments.

(illustration)

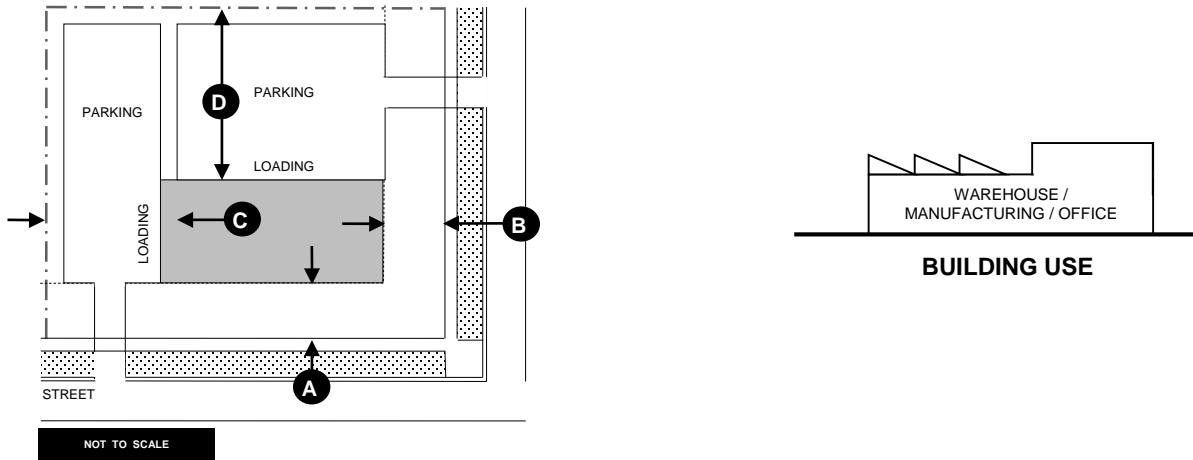
- a. Type C-3 mixed uses (residential and nonresidential uses) buildings are allowed in the following districts (see Tables of Allowed Uses at § 155.505) when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
SRN, C-MF	§ 155.604.5	Any Allowed Uses	Any/Parking
R/I, O, HUC, B-1	§ 155.604.2	Any Allowed Uses	Any/Parking
MUD, TS, ENT	§ 155.604.3	Any Allowed Uses	Any/Parking

- b. CONDITIONS OR RESTRICTIONS. Additional conditions may be applied through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, within garage structures, or as the lower level(s) of a building with other uses.
- c. Accessory structures and uses. See § 155.601.20.

C. INDUSTRIAL BUILDINGS.

1. TYPE C-4 BUILDING: Industrial, warehousing and distribution.



- a. Type C-4 industrial or warehouse uses buildings are allowed in the I-1 and I-2 district, and some uses also are allowed in the B-D district (see Tables of Allowed Uses at § 155.505) when adhering to the lot standards and dimensional requirements as given:

District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
B-D	§ 155.604.2	Industrial/Warehouse	Industrial/Warehouse/Parking
I-1, I-2	§ 155.604.2	Industrial/Warehouse	Industrial/Warehouse/Parking

- b. CONDITIONS OR RESTRICTIONS. Additional conditions may be applied through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed

TOWN OF MATTHEWS UNIFIED DEVELOPMENT ORDINANCE

configuration, within garage structures, or as the lower level(s) of a building with other uses.

c. Accessory structures and uses. See § 155.601.20.

D. Heavy Industrial uses with significant Outdoor Storage or are substantially open air operations.

1. Type C-5 Open/Outdoor Use.

(illustration)

a. Type C-5 open air/outdoor uses buildings are allowed in the I-2 district when adhering to the lot standards and dimensional requirements as given:

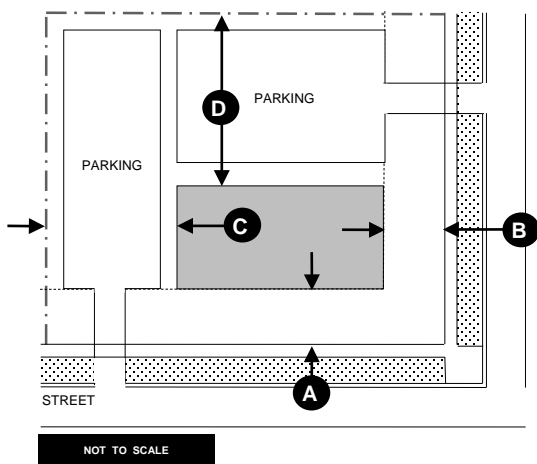
District	Lot/Dimensional Standards	Building Usage	
		Upper Floors	Ground Floor
I-2	§ 155.604.2	NA	Accessory/Industrial/Warehouse

b. Conditions or restrictions. Additional conditions may be applied through site plan or conditional zoning actions. Parking may be in an open pavement lot, in a covered shed configuration, or within garage structures.

c. Accessory structures and uses. See § 155.601.20

B. NON-RESIDENTIAL BUILDINGS.

9. TYPE 9 Building (Institutional Building, 200 to 1,000 persons)



a. PERMITTED DEVELOPMENT DISTRICTS

R/I

b. LOT STANDARDS

Lot Width:	200 feet	A
Lot Width, Corner Lot:	XX feet	B
Lot Area (acres):	2	C
Lot Coverage (max):	65%	

c. BUILDING PLACEMENT STANDARDS

Front Setback:	50 feet	D
Corner Side Setback:	50 feet	E
Side Setback:	50 feet	F
Rear Setback:	50 feet	G

Permitted Yard Obstructions: See Section

d. VERTICAL STANDARDS

Maximum Height:	60 feet*
Maximum Stories:	2
Fences and walls:	See Section

*See allowance for additional height in § 153.056.D.1

e. BUILDING USE STANDARDS

Upper Floor:	Residential/Institutional
Ground Floor:	Residential/Institutional/Parking
Additional Standards:	max. 200 to 1,000 persons

f. PARKING STANDARDS

Number of off-street parking

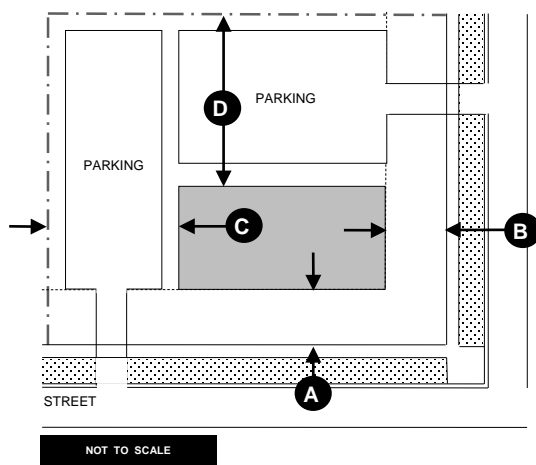
spaces required:	4
Alley:	Required
Covered parking:	Optional

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line

- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage

10. TYPE 10 Building (Institutional Building, 1,000 persons or more)



a. PERMITTED DEVELOPMENT DISTRICTS

R/I

b. LOT STANDARDS

Lot Width:	250 feet
Lot Width, Corner Lot:	XX feet
Lot Area (acres):	10
Lot Coverage (max):	70%

c. BUILDING PLACEMENT STANDARDS

Front Setback:	50 feet	A
Corner Side Setback:	50 feet	B
Side Setback:	50 feet	C
Rear Setback:	50 feet	D
Permitted Yard Obstructions:	See Section	

d. VERTICAL STANDARDS

Maximum Height:	60 feet*
Maximum Stories:	2
Fences and walls:	See Section

*See allowance for additional height in § 153.056.D.1

e. BUILDING USE STANDARDS

Upper Floor:	Residential/Institutional
Ground Floor:	Residential/Institutional/Parking
Additional Standards:	1,000 persons or more

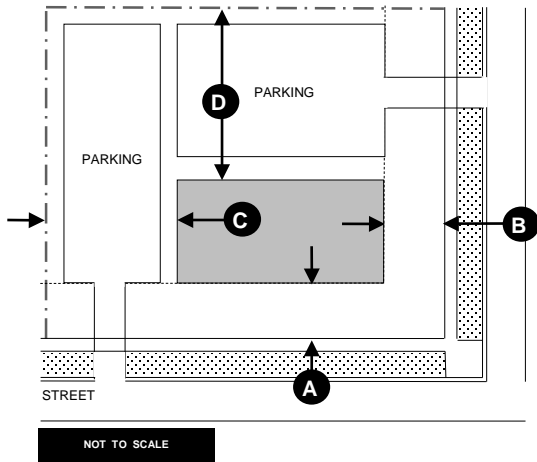
f. PARKING STANDARDS

Number of off-street parking spaces required:	4
Alley:	Optional
Covered parking:	Optional

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage

11. TYPE 11 Building (Institutional Building, without assembly rooms)



a. PERMITTED DEVELOPMENT DISTRICTS

R/I

b. LOT STANDARDS

Lot Width:	200 feet
Lot Width, Corner Lot:	XX feet
Lot Area (acres):	2
Lot Coverage (max):	60%

c. BUILDING PLACEMENT STANDARDS

Front Setback:	50 feet	A
Corner Side Setback:	50 feet	B
Side Setback:	50 feet	C
Rear Setback:	50 feet	D
Permitted Yard Obstructions:	See Section	

d. VERTICAL STANDARDS

Maximum Height:	60 feet*
Maximum Stories:	2
Fences and walls:	See Section

*See allowance for additional height in § 153.056.D.1

e. BUILDING USE STANDARDS

Upper Floor:	Residential/Institutional
Ground Floor:	Residential/Institutional/Parking
Additional Standards:	without assembly rooms

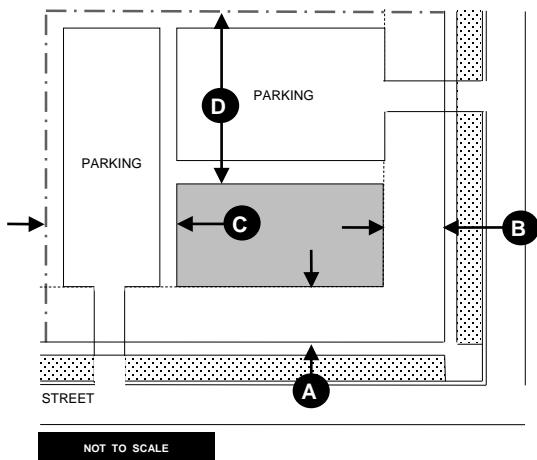
f. PARKING STANDARDS

Number of off-street parking spaces required:	4
Alley:	Required
Covered parking:	Optional

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage

12. TYPE 12 Building (Institutional Building in Selected Residential Districts)



a. PERMITTED DEVELOPMENT DISTRICTS

R-9	R-12	R-15	R-20
	R-12MF	R-15MF	R-20MF

b. LOT STANDARDS

	R-9	R-12	R-15	R-20
		R-12MF	R-15MF	R-20MF
Lot Width (feet):	60	70	80	
Lot Area (square feet):	12,000	15,000	20,000	

c. BUILDING PLACEMENT STANDARDS

	R-9	R-12	R-15	R-20
		R-12MF	R-15MF	R-20MF
Front Setback (feet):	30	35	40	A
Corner Side Setback (feet):	30	35	40	B
Side Setback:				
Adjacent residential use:	20	20	20	C
Adjacent office, business industrial use:	10	10	10	
Rear Setback:				
Adjacent residential use:	20	20	20	D
Adjacent office, business industrial use:	10	10	10	
Building Coverage (max):	60%	60%	60%	
Permitted Yard Obstructions:	See Section			

d. VERTICAL STANDARDS

Maximum Height* (feet):	35	35	35
Fences and walls:	See Section		

*Maximum structure height may be increased to 40 feet provided the required side and rear yard setbacks are increased by one (1) foot for each foot or fraction thereof in height over 35 feet.

e. BUILDING USE STANDARDS

Upper Floor:	Institutional
Ground Floor:	Institutional/Parking

f. PARKING STANDARDS

Number of off-street parking spaces required:	See § 155.607
Covered parking:	Optional

g. OUTDOOR ILLUMINATION STANDARDS

Lighting of buildings, parking areas, accessory uses, and grounds shall be shielded so as to cast no glare upon adjacent properties and streets. Lighting of outdoor accessory uses, such as ballfields, shall not remain lighted after 11:00 p.m. or be turned on before 8:00 a.m.

h. LOCATION STANDARDS

Any institutional use with one or more assembly rooms, any of which are over 200 seating capacity, or any use which regularly operates every weekday throughout the year and has forty (40) or more persons (child or adult) regularly in attendance, must be located on a road other than a minor residential street, and its main entrance must be on that non-minor residential street.

i. ACCESSORY STRUCTURE / USE STANDARDS

Typical accessory uses to churches and synagogues are permitted by right subject to the dimensional standards established in the underlying zoning district. Typical accessory uses may include but are not limited to day care centers, day nurseries, pre-schools, family life centers, church offices excluding district or region administrative offices, gymnasium, book or tape library, ballfields, and basketball courts. Accessory uses within an enclosed structure may be in the principal building or in an accessory structure. Outdoor accessory uses shall not be located within the required setback or the outer 20 feet of a required side or rear yard.

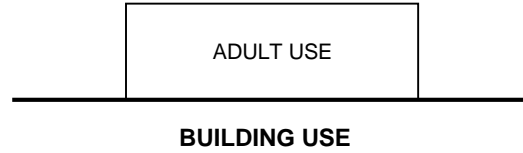
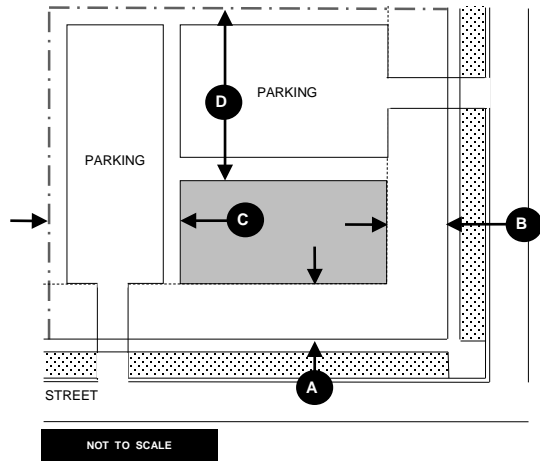
j. LANDSCAPING STANDARDS

The tree and landscaping regulations in § 155.606 are applicable for all institutional uses.

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage
- The tree and landscaping regulations in § 155.606 are applicable for all institutional uses.

14. TYPE 14 Building (Adult Use)



a. PERMITTED DEVELOPMENT DISTRICTS

AU

b. LOT STANDARDS

Lot Width:	None
Lot Width, Corner Lot:	None
Lot Area:	None
Lot Coverage (max):	25%

c. BUILDING PLACEMENT STANDARDS

Front Setback:	40 feet	A
Corner Side Setback:	40 feet	B
Side Setback:	20 feet	C
Rear Setback:	20 feet	D
Permitted Yard Obstructions:	See Section	

d. VERTICAL STANDARDS

Maximum Height:	35 feet
Fences and walls:	See § 155.

e. BUILDING USE STANDARDS

Maximum Total Floor Area:	5,000 square feet
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Use Limitations:

- There shall not be more than one adult business establishment on the same property or in the same building, structure, property or portion thereof
- Except for an adult motel, no use permitted in the AU District may have sleeping quarters

f. SEPARATION STANDARDS

No use permitted in the AU District shall be located within:

- 1,500 feet of any other use permitted in the AU District
- 1,500 feet of any residential zoned property, or any residential or institutional use permitted in Section 155.502.1
- 1,000 feet of any establishment with an on-premise ABC license

g. PARKING STANDARDS

A site plan showing the location of parking spaces, drive entrances and exits, loading docks, and maneuvering space must be submitted to the Board of Commissioners to verify compliance

Number of off-street parking spaces required:	See § 155.607
Parking Setback*:	No parking shall be located within any required setback
Underground Parking:	Not permitted

Parking lot screening as required by § 155.607 shall be provided for all adult uses, except that screening will not be required along a public street.

**Applies to parking structures and surface parking. No maneuvering space for parking spaces is permitted in required setback, except that driveways providing access to the parking area may be located in the required setback*

h. ACCESSORY STRUCTURE / USE STANDARDS

No other principal or accessory use, except as listed below, may occupy the same building, structure, property, or portion thereof:

- Off-street parking for the principal use.
- Vending machines for cigarettes, candy, soft drinks or other food items, and similar items located within an enclosed building as an accessory to the uses in the principal building or buildings.

i. SIGN STANDARDS

An adult establishment shall be permitted one detached freestanding sign of up to fifty (50) square feet, and attached signage (in one or more signs) not to exceed fifty (50) square feet, for a total of one hundred (100) square feet total sign area allowed. A site plan showing the location of the freestanding sign and the number and location(s) of the attached sign(s) must be submitted to the Board of Commissioners to verify compliance.

j. LANDSCAPING STANDARDS

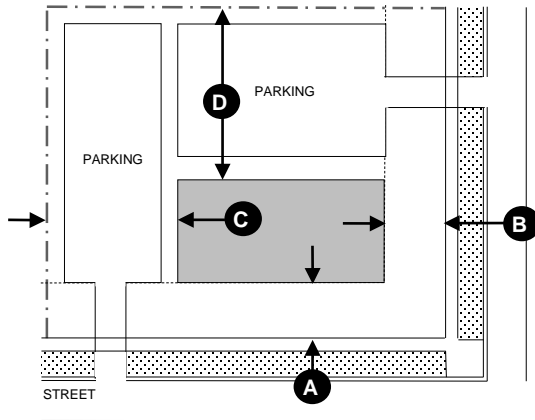
Any use in the AU District shall be screened on all non-street front district boundaries as required in § 155.606

All other tree and landscape regulations of § 155.606 shall apply.

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage
- **[formerly § 153.059]**

15. TYPE 15 Building (Commercial Building)



NOT TO SCALE



a. PERMITTED DEVELOPMENT DISTRICTS

B-1 B-2

b. LOT STANDARDS

Lot Width:	none
Lot Width, Corner Lot:	none
Lot Area (square feet):	none
Lot Coverage (max):	none

c. BUILDING PLACEMENT STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS	
Front Setback:	40 feet	40 feet	A
Corner Side Setback:	na	na	B
Side Setback:	*	10 feet	C
Rear Setback:	10 feet	20 feet	D

* Side yards not required. If side yards are provided, one must be at least 4 feet and the other at least 8 feet. If only one side yard is provided it shall be at least 8 feet.

d. VERTICAL STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS
Maximum Height:	40 feet	40 feet
Fences and walls:	See Section	

e. BUILDING USE STANDARDS

Upper Floor:	Office
Ground Floor:	Retail/Parking/and other uses permitted in § 155.501

Floor Area* (max): 100,000 square feet

*Maximum total floor area of any single retail establishment or shopping center. Retail establishments smaller than 100,000 square feet may be considered only under the provisions of § 153.204.

f. ACCESSORY BUILDING STANDARDS

Floor Area (max):	10% of the total floor area of the principal structure(s)
Height (max):	35 feet, provided accessory structure is less than 5% of the total floor area of the principal structure(s) or 5,000 square feet, whichever is less

g. PARKING STANDARDS

Number of off-street parking spaces required:	See § 155.607
Underground parking:	Optional

h. SIGN STANDARDS

As required in § 155.608

i. LANDSCAPING STANDARDS

As required in § 155.606

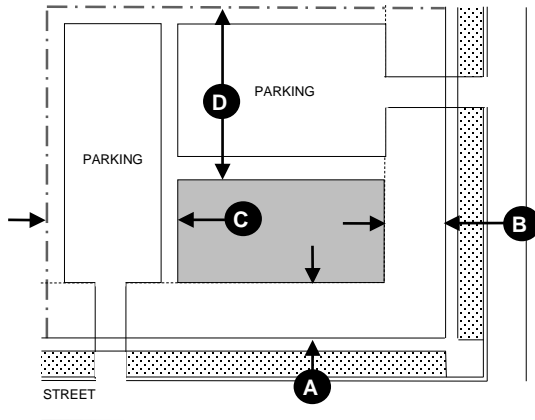
j. OUTDOOR ILLUMINATION STANDARDS

As required in § 155.60X

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage

16. TYPE 16 Building (Commercial Building)



NOT TO SCALE



a. PERMITTED DEVELOPMENT DISTRICTS

B-3

b. LOT STANDARDS

Lot Width:	none
Lot Width, Corner Lot:	none
Lot Area:	1 acre
Lot Coverage (max):	none

c. BUILDING PLACEMENT STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS	
Front Setback:	40 feet	40 feet	A
Corner Side Setback:	na	na	B
Side Setback:	*	10 feet	C
Rear Setback:	10 feet	20 feet	D

* Side yards not required. If side yards are provided, one must be at least 4 feet and the other at least 8 feet. If only one side yard is provided it shall be at least 8 feet.

d. VERTICAL STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS
Maximum Height:	50 feet	50 feet
Minimum Height:	35 feet	35 feet
Fences and walls:	See Section	

e. BUILDING USE STANDARDS

Upper Floor:	Office
Ground Floor:	Retail/Food Services/Parking/and other uses permitted in § 155.501
Floor Area* (max):	100,000 square feet

Floor Area** (min): 20,000 square feet

*Maximum total floor area of any single retail establishment or shopping center. Retail establishments smaller than 100,000 square feet may be considered only under the provisions of § 153.204.

** The minimum total floor area shall be 20,000 square feet, and any combination of non-retail uses in a single building or in a group of buildings may exceed 100,000 square feet in floor area.

f. ACCESSORY BUILDING STANDARDS

Floor Area (max):	10% of the total floor area of the principal structure(s)
Height (max):	35 feet, provided accessory structure is less than 5% of the total floor area of the principal structure(s) or 5,000 square feet, whichever is less

g. PARKING STANDARDS

Number of off-street parking spaces required:	See § 155.607
Underground parking:	Optional

h. SIGN STANDARDS

As required in § 155.608

i. LANDSCAPING STANDARDS

As required in § 155.606

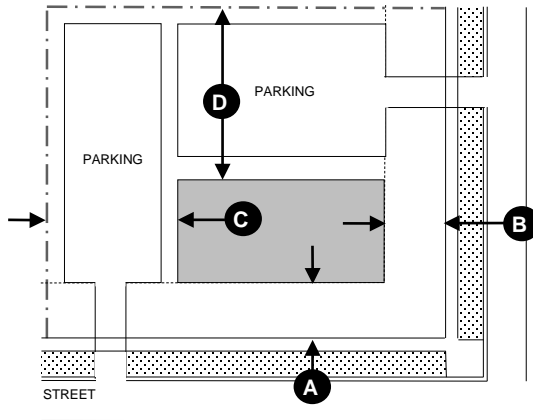
j. OUTDOOR ILLUMINATION STANDARDS

As required in § 155.60X

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage

17. TYPE 17 Building (Commercial Building)



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

B-D

b. LOT STANDARDS

Lot Width:	none
Lot Width, Corner Lot:	none
Lot Area (square feet):	none
Lot Coverage (max):	none

c. BUILDING PLACEMENT STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS	
Front Setback:	40 feet	40 feet	A
Corner Side Setback:	na	na	B
Side Setback:	10 feet	10 feet	C
Rear Setback:	10 feet	20 feet	D

d. VERTICAL STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS
Maximum Height:	40 feet	40 feet
Fences and walls:	See Section	

e. BUILDING USE STANDARDS

Upper Floor:	Office
Ground Floor:	Retail/Animal-Related/Business & Professional Services/Food Services/Parking/and other uses permitted in § 155.501
Floor Area* (max):	100,000 square feet

*Maximum total floor area of any single retail establishment or shopping center. Retail establishments smaller than 100,000 square feet may be considered only under the provisions of § 153.204.

f. ACCESSORY BUILDING STANDARDS

Floor Area (max):	10% of the total floor area of the principal structure(s)
Height (max):	35 feet, provided accessory structure is less than 5% of the total floor area of the principal structure(s) or 5,000 square feet, whichever is less

g. PARKING STANDARDS

Number of off-street parking spaces required:	See § 155.607
Underground parking:	Optional

h. SIGN STANDARDS

As required in § 155.608

i. LANDSCAPING STANDARDS

As required in § 155.606

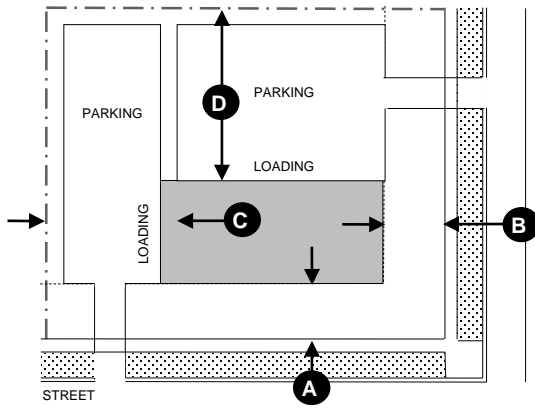
j. OUTDOOR ILLUMINATION STANDARDS

As required in § 155.60X

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage

18. TYPE 18 Building (Industrial Building)



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

I-1 I-2

b. LOT STANDARDS

Lot Width:	none
Lot Width, Corner Lot:	none
Lot Area (square feet):	none
Lot Coverage (max):	none

c. BUILDING PLACEMENT STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS	
Front Setback:	40 feet	40 feet	A
Corner Side Setback:	na	na	B
Side Setback:	20 feet	10 feet	C
Rear Setback:	20 feet	20 feet	D

d. VERTICAL STANDARDS

	ADJACENT RESIDENTIAL DISTRICTS	ADJACENT ALL OTHER DISTRICTS
Maximum Height*:	35 feet**	35 feet***
Fences and walls:	See Section	

*The Fire Chief or County Fire Marshall must confirm that there is adequate firefighting equipment available (locally or through mutual aid).

**Maximum allowable height within 50 feet of a residential zoning district. Buildings and structures may exceed the 35 foot height limit beyond this 50-foot zone when side and rear yards are increased by one foot for every one foot (or fraction thereof) of building height over 35 feet.

*** Buildings and structures may exceed the 35-foot height limit beyond this 50-foot zone when side and rear yards are increased by one foot for every one foot (or fraction thereof) of building height over 35 feet.

e. BUILDING USE STANDARDS

Ground Floor:	Manufacturing/Retail/Parking/and other uses permitted in § 155.501
Floor Area* (max):	100,000 square feet

*Maximum total floor area of any single retail establishment or shopping center. Retail establishments smaller than 100,000 square feet may be considered only under the provisions of § 153.204.

f. PARKING STANDARDS

Number of off-street parking spaces required:	See § 155.607
Underground parking:	Optional

g. SIGN STANDARDS

As required in § 155.608

h. LANDSCAPING STANDARDS

As required in § 155.606

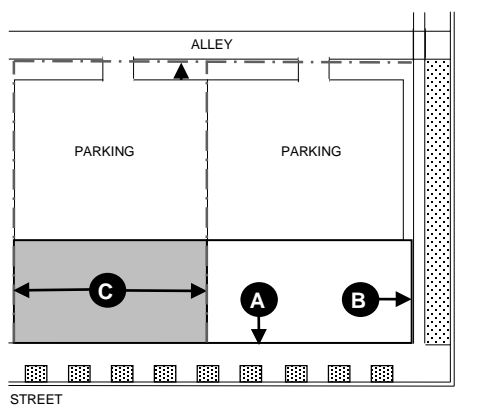
i. OUTDOOR ILLUMINATION STANDARDS

As required in Section 155.60X

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage

19. TYPE 19 Building (Mixed-Use Building)



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

MUD TS

b. LOT STANDARDS

Lot Width:	100 feet
Lot Width, Corner Lot:	100 feet
Lot Depth:	165 feet
Lot Area (square feet):	16,500
Lot Coverage (max):	none

c. BUILDING PLACEMENT STANDARDS

	ADJACENT ALL OTHER DISTRICTS	ADJACENT TS / MUD DISTRICTS	
Build-To Line (Front):	0 feet	0 feet	A
Corner Side Setback:	0 feet	0 feet	B
Side Setback:	20 feet	0 feet*	C
Rear Setback:	20 feet	0 feet	D

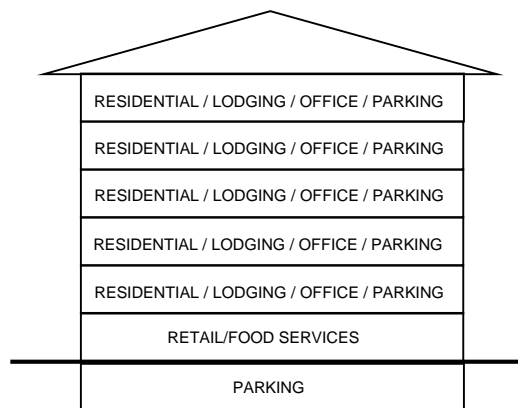
* Side yards not required.

d. VERTICAL STANDARDS

	ADJACENT ALL OTHER DISTRICTS	ADJACENT TS / MUD DISTRICTS
Maximum Height:	40 feet	75 feet
Maximum Stories:	6	
Fences and walls:	See § 155.605.??	

e. BUILDING USE STANDARDS

Upper Floor:	Residential / Lodging / Office / Parking
Ground Floor:	Retail / Food Services / Personal and Business Services
Below Grade:	Parking / Utilities



BUILDING USE

f. ACCESSORY BUILDING STANDARDS

Floor Area (max):	10% of the total floor area of the principal structure(s)
Height (max):	35 feet, provided accessory structure is less than 5% of the total floor area of the principal structure(s) or 5,000 square feet, whichever is less

g. PARKING STANDARDS

Number of off-street parking spaces required:	See § 155.607
Underground parking:	Optional
Structure parking:	Optional

NOTE: No parking shall be located at ground level along any street in the TS or MUD Districts

h. SIGN STANDARDS

As required in § 155.608

i. LANDSCAPING STANDARDS

As required in § 155.606

j. OUTDOOR ILLUMINATION STANDARDS

As required in § 155.60X

Notes:

- All dimensions are expressed as minimums, except where noted otherwise
- Lot width and side yard setbacks shall be increased to accommodate excessive side slope situations
- Building entrance shall face front lot line
- Service entries are prohibited on street facades
- Building elevations facing a street shall have windows on each floor elevation
- Buildings on corner lots shall extend architectural features and details on each street frontage
- Buildings on corner lots shall not encroach upon sight triangle

MUD

- 2. DEVELOPMENT REQUIREMENTS. Development permitted within the MUD District shall comply with the following standards:
 - a. Single-family attached dwellings, two- family dwellings, and zero lot line dwellings shall comply with the development standards outlined in § 153.205(F) – dimensional requirements table for R-VS.
 - b. Multiple-family development and non-residential uses shall comply with the following development standards:
 - 1. MINIMUM LOT AREA: None
 - 2. MINIMUM DEVELOPMENT AREA per Unit: None
 - 3. MINIMUM LOT WIDTH: None
 - 4. MINIMUM SETBACK: 14 feet
 - 5. MINIMUM SETBACK ALONG AN INTERSTATE HIGHWAY: 50 feet
 - 6. MINIMUM SIDE YARD: None
 - 7. MINIMUM REAR YARD: None
 - 8. MINIMUM HEIGHT: None
 - 9. MAXIMUM HEIGHT: Forty-five feet (45'). The maximum height of any building may be increased provided its building separation from any properties outside the project site is increased in accordance with § 155.502.C.1.e, above.
 - c. Multiple-family development in the MUD District is not subject to the provisions of § 155.503.2.AF of this Title.