

Agenda Item: Fullwood Station Administrative Amendment

DATE: August 20, 2018

FROM: Mary Jo Gollnitz, Senior Planner

Background/Issue:

David Weekley Homes is requesting an Administrative Amendment for additional house elevations at Fullwood Station. Elevations for the subdivision were approved by the Town Board on April 11, 2016 as part of an Administrative Amendment that included several other requests. Planning Board approved three additional elevations in June 2017.

The approved house product mix currently includes the following (see attached):

3059 A, B, C, D	5652 A	9976 (M) F, G	5692 A, B
4563 A, B, C, D	5678 A, B	5687 A, B, C	
5609 A, B	5857 C, D, E	5688 A, B	

David Weekley Homes wishes to add the following floor plan at Fullwood Station:

8136 B

The applicant has stated that it is difficult to meet Matthews requirements for corner lots with their existing elevations. A layout of the home on the property is attached. The elevation proposed (8136 B) includes a 4' 6" depth front porch.

The new elevation features brick, with cultured stone, metal roof, and fiber cement accent gable finishes. The elevation is equivalent to the current approved product. The subdivision has met the requirement for a minimum of 4 homes with side load garages as well as including homes with usable front porches.

Matthews UDO provides three levels of approvals for Administrative Amendments; staff review, Planning Board action, and Board of Commissioners action.

If the Planning Board wishes to take action, the Statement of Consistency and Reasonableness is provided for your convenience.

Staff recommends the Planning Board discuss and approve the proposed additional elevation for Fullwood Station.

**STATEMENT OF CONSISTENCY WITH LOCAL ADOPTED GROWTH POLICIES
Final Decisions on Zoning-Related Issues**

ADMINISTRATIVE AMENDMENT _____ **Fullwood Station Elevation** _____

Matthews Planning Board adopts the checked statement below:

A) The requested zoning action, as most currently amended, is **approved**, and has been found to be **CONSISTENT** with the Matthews Land Use Plan (or other document(s)) as follows:

The proposed elevation is similar to already approved elevations for the subdivision, and constructed of brick, stone and hardi-plank. Additional elevations provide character to the housing product within the subdivision.

OR

B) _____ The requested zoning action, as most currently amended, is **not approved**, and has been found to be **INCONSISTENT** with the Matthews Land Use Plan (or other document(s)) as follows:

*(Statement must explain why the Board deems the action reasonable and in the public interest (more than one sentence).
Reasons given for a zoning request being "consistent" or "not consistent" are not subject to judicial review.)*

Date August 28, 2018 _____

August 8, 2018

Planning Department

Town of Matthews

232 Matthews Station Street

Matthews, NC 28105

Re: Fullwood Station – Administrative Amendment

We are requesting to add the 8136 Modbury plan to our Fullwood Station community. Our current need is to build on Fullwood lot 35. This plan is currently approved for the nearby Eden Hall Community. The reason for this request is that this plan is narrower in width and will allow us to comply with Section 155.601.11.B.2 which states:

If the rear lot line of a corner lot is also the side lot line of an adjacent lot to the rear, then the corner side yard must be at least fifty percent (50%) of the required front setback for the adjoining lot.

This requirement has eliminated all our currently approved product and this new 8136 Modbury plan will fit and we have revised the elevation to blend into the Fullwood Station approved plan mix.

Thank you for your Consideration of this request.



Darren Price

Project Manager



FRONT ELEVATION "B"

NOTE: ALL WINDOWS ARE
EQUAL SASH

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The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.

David Weekley Homes

BR/JCA/AF
Date: 4/9/2018
Scale: 1/4" = 1'-0"
Rev: 07/23/18 BG

Proj. No.: 3602
Job No.: 0035
Lot: 35
Block: -
Sect: -

3602
0035

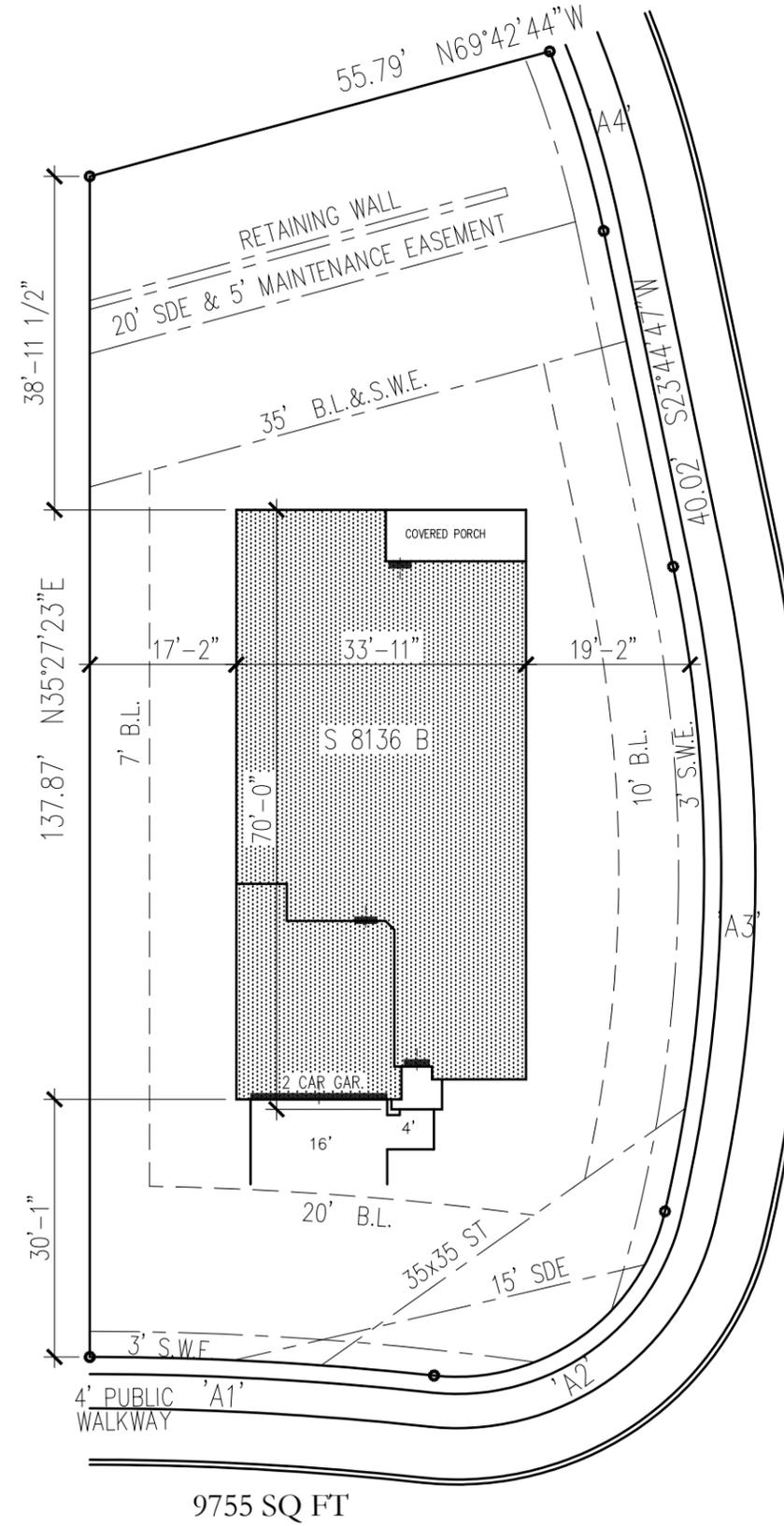
NORTH
8136-B
ELV-1
MODBURY
CHARLOTTE

LOT CHECK NOT FOR CONSTRUCTION

- NOTES:
 1. FRONT FENCE LOCATED PER BUILDER.
 2. VERIFY GRADING IN FIELD.
 3. VERIFY BUILDING SETBACKS AND/OR EASEMENTS IN FIELD

1. REQUEST COMP. & APPROVED	7/18/18	GG	TT	
I do hereby certify that this drawing or plan and related specifications meet all local requirements and are in local conformity with V.A. minimum property requirements.				

ARC	LEN.	ARC TABLE RAD.	CHRD. BRG.	CHRD. LEN.
'A1'	40.39'	375'	S51°27'29"E	40.37'
'A2'	36.23'	25'	N89°53'16"W	33.14'
'A3'	76.9'	175'	S36°10'19"W	76.31'
'A4'	21.93'	125'	S18°43'12"W	21.9'



2622 LIVERY STABLE DRIVE
 David Weekley Homes

WOODY CREEK RD

FULLWOOD STATION PROJECT NO: 3602

JOB NO: 0035

LOT: 35 BLOCK: 00 SECTION: 00



FULLWOOD STATION
2622 LIVERY STABLE DRIVE

Proj. No.:
3602
Lot No.:

Lot: **35**
Blk: -

David Weekley Homes

SOU
8136
PLT PL
MODBI
CHARLC

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The measurements, dimensions, and other specifications shown on this document, are guidelines for construction use only. The actual specifications of the finished

NOTE: FOR LOT FIT CHECK PURPOSES ONLY - NOT FOR CONSTRUCTION

PREVIOUSLY APPROVED ELEVATIONS

Elevation 5857



Elevation 4563



Elevation 3059



Elevation 5609



Elevation 5678





5687CAR-A



5687CAR-B



5687 C



5688 A



5688 B



5692CAR-A



5692CAR-B