

Agenda Item: Administrative Amendment – Elevation Changes – Harmony Hills (Mt Harmony Townhomes)

TO: Mayor and Board of Commissioners

FROM: Mary Jo Gollnitz, Senior Planner

DATE: January 7, 2020

Background/Issue:

Century Communities is requesting a Change in Elevations for the Harmony Hill Townhome development. The original rezoning 2017-674, was approved June 2018. The development is currently under construction.

- Architectural Standards Note 6.C states: *Applicant may subsequently propose additional conceptual, schematic images of the front, side and rear elevations of the one-family attached dwelling units to be constructed on the Site, and such additional conceptual, schematic images must be approved by the Matthews Board of Commissioners prior to the issuance of a building permit for a one-family attached dwelling unit that utilizes one of the additional conceptual, schematic images of the front, side and rear elevations.*
- The applicant is proposing elevation changes to the Townhomes. Changes include:
 - addition of 3 new floor plans (Cameron A, B and C) to accommodate market requests,
 - removing glass from front doors on alley-load townhomes,
 - remove “eyebrow” trim on end units and replace with accent trim band,
 - addition of dormers in new floor plans instead of gable roofs,
 - reduction of the height of brick/stone work on the front-load townhomes,
 - addition of porch on both end units,
 - addition of door overhangs have been added to the rear elevations of the front-load townhomes.
- Minor changes such as placement and size of windows; option of windows with or without grids have also been included.
- Elevations will remain staggered.
- No changes have been made to the overall layout of the development.

Proposal/Solution

The revised elevations are intended to provide more privacy and less chance for construction defects.

Financial Impact

None

Related Town Goal

Quality of Life

Economic Development/Land Use Planning

Recommended Action

Review, discuss and make a determine if elevation change requests for Harmony Hill Townhomes are appropriate.

**STATEMENT OF CONSISTENCY WITH LOCAL ADOPTED GROWTH POLICIES
Final Decisions on Zoning-Related Issues**

ZONING APPLICATION # _____

ZONING MOTION # _____

ADMINISTRATIVE AMENDMENT Harmony Hills

Matthews Board of Commissioners adopts the checked statement below:

A) X The requested zoning action, as most currently amended, is **approved**, and has been found to be **CONSISTENT** with the Matthews Land Use Plan (or other document(s)), and to be **REASONABLE**, as follows:

CONSISTENT: because it supports the economic viability of the future development. The elevations are not substantially changed from the originally approved elevations.

REASONABLE: because it allows for a mix of elevations, floor plan layouts and the overall development has not changed.

OR

B) _____ The requested zoning action, as most currently amended, is **not approved**, and has been found to be **INCONSISTENT** with the Matthews Land Use Plan (or other document(s)), and **NOT REASONABLE**, as follows:

INCONSISTENT: because it changes the overall style of the originally approved townhomes.

NOT REASONABLE: the changes to the elevations adversely affect the overall design intent from the 2018 rezoning.

OR

C) _____ The requested zoning action, as most currently amended, is **not approved**, although it has been found to be **CONSISTENT** with the Matthews Land Use Plan (or other document(s)), it is **NOT REASONABLE**, as follows:

CONSISTENT:

NOT REASONABLE:

OR

(Over)

D) _____ The requested zoning action, as most currently amended, is **approved**. This action also **concurrently amends** the Matthews Land Use Plan as specifically outlined below. *(Provide explanation of the change in conditions making the Matthews Land Use Plan inconsistent to meet the development needs of the community, and include reference to specific text in Plan document):*

AMENDMENT TO LAND USE PLAN:

REASONABLE:

(In each case, the Statement must explain why the Board deems the action reasonable and in the public interest (more than one sentence). Reasons given for a zoning request being “consistent” or “not consistent” are not subject to judicial review.)

Date January 13, 2020



December 18, 2019

VIA EMAIL: jcamp@matthewsnc.gov, mjgollnitz@matthewsnc.gov

Jay Camp, AICP, Planning Director
Mary Jo Gollnitz, CZO, Senior Planner/Zoning Administrator
Town of Matthews
232 Matthews Station Street
Matthews, NC 28105

RE: Mt. Harmony Town Houses (Rezoning Petition No. 2017-674) / Elevation Approval

Dear Mr. Camp & Ms. Gollnitz:

Century Communities Southeast, LLC is hereby requesting review and approval of the enclosed additional architectural elevations for the townhomes to be built at the Harmony Hills townhome community (aka Mt. Harmony Townhomes), located at the Northwest quadrant of Mt. Harmony Church Rd. and Stevens Mill Rd.

Included with this request are front, side and rear elevations for both the alley-load and front-load townhomes to be built within the community. Revisions from the elevations previously approved per Rezoning Petition No. 2017-674 include the following:

- Solid front entry door, as alternative to glass-panel door depicted in previously approved elevations
- Frieze board/trim band at exterior side, as alternative to eyebrow roof detail depicted in previously approved elevations
- One additional floorplan for the front-load townhomes (the "Logan"), with three alternate elevations (A, B & C)

Thank you for your consideration of this request. Please contact me at 704-709-2890, or gordon.johnston@centurycommunities.com should you have any questions or need additional information.

Regards,

Gordon Johnston
Land Acquisition Manager

cc: Andrew Rouzer / andrew.rouzer@centurycommunities.com



Cameron "A" Cameron "B" Cameron "C" Cameron "B" Cameron "C"



Alley-Load Townhomes
Front Elevation - Previously Approved 6/11/2018



Cameron "A" Cameron "B" Cameron "C" Cameron "B" Cameron "A"

Revised end unit to match opposite end.



Alley-Load Townhomes
Front Elevation - For Review



Remove "eyebrow" roof at end units.



Alley-Load Townhomes
Left Side Elevation "A" - Previously Approved 6/11/2018



Replace with accent/trim band.



Alley-Load Townhomes
Left Side Elevation "A" - For Review

Sample of "eyebrow" line.



Sample of accent/trim band.

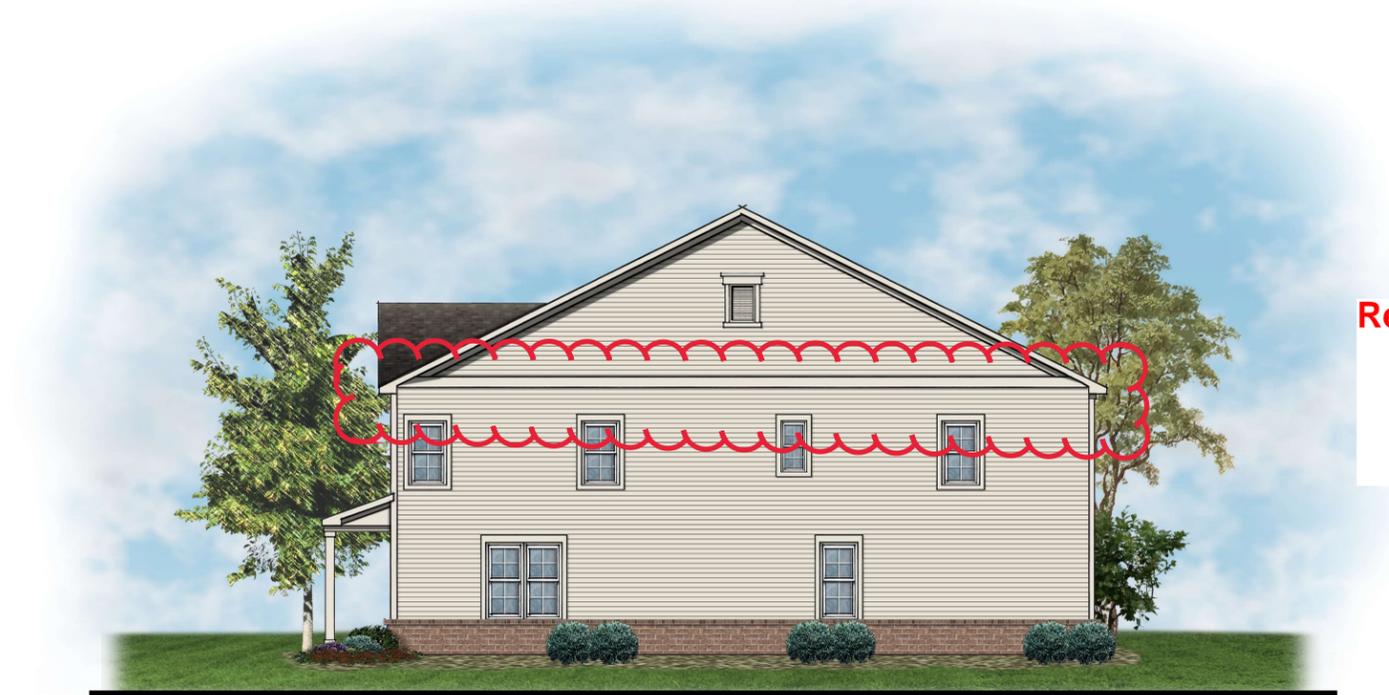




Remove "eyebrow" roof at end units.



Alley-Load Townhomes
Right Side Elevation "C" - Previously Approved 6/11/2018



Replace with accent/trim band.



Alley-Load Townhomes
Right Side Elevation "A" - For Review



Cameron "C" Cameron "B" Cameron "C" Cameron "B" Cameron "A"



Alley-Load Townhomes
Rear Elevation - Previously Approved 6/11/2018

Revised end unit to match other end.



Cameron "A" Cameron "B" Cameron "C" Cameron "B" Cameron "A"



Alley-Load Townhomes
Rear Elevation - For Review



Brick/stone height on units reduced.

Hayes "B"

Hayes "A"

Hayes "C"

Hayes "B"

Hayes "C"



Front-Load Townhomes
Front Elevation - Previously Approved 6/11/2018

Dormers instead of gables with new floor plans.



Glass removed from entrance doors for privacy.

Logan "B"

Hayes "C"

Logan "C"

Hayes "A"

Logan "A"

Hayes "B"

New floor plans.



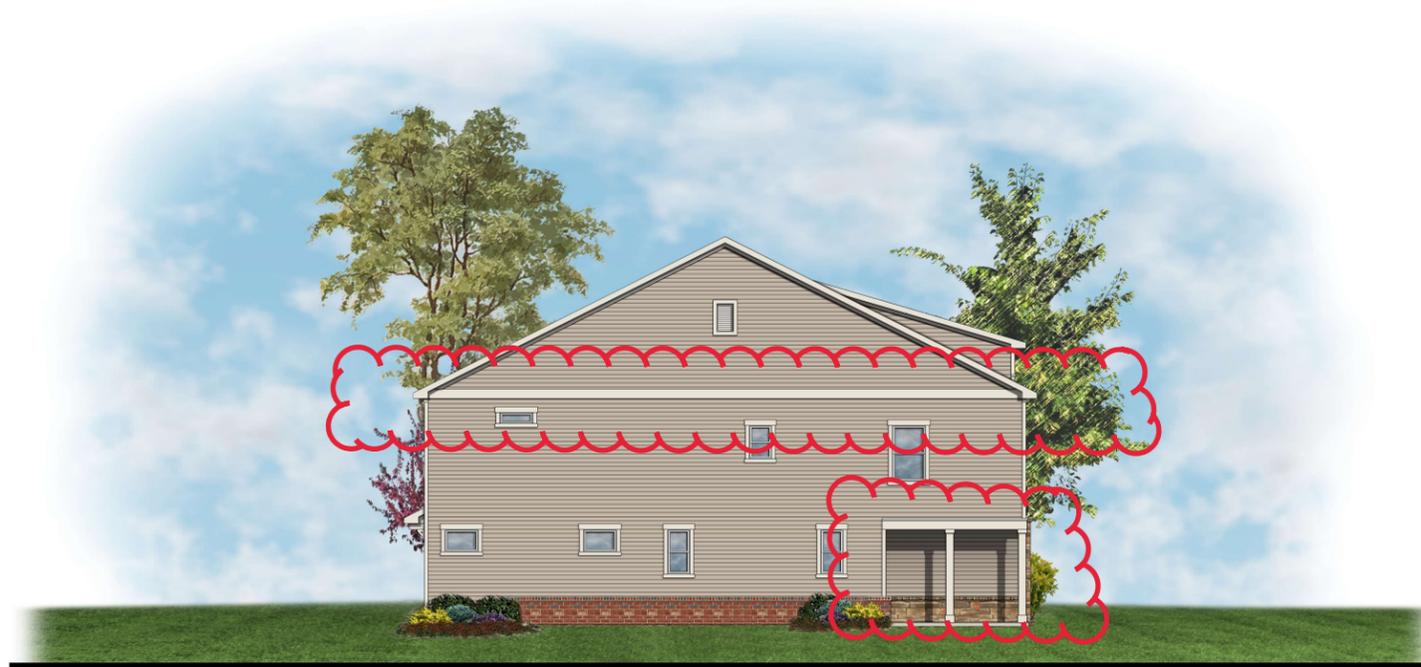
Front-Load Townhomes
Front Elevation - For Review



Remove "eyebrow" roof at end units.



Front-Load Townhomes
Left Side Elevation "B" - Previously Approved 6/11/2018



Replace with accent/trim band.

Addition of side porch.



Front-Load Townhomes
Left Side Elevation "B" - For Review



Remove "eyebrow" roof at end units.



Front-Load Townhomes
Right Side Elevation "C" - Previously Approved 6/11/2018



Replace with accent/trim band.



Front-Load Townhomes
Right Side Elevation "B" - For Review



Hayes "C" Hayes "B" Hayes "C" Hayes "A" Hayes "B"

Front-Load Townhomes
Rear Elevation - Previously Approved 6/11/2018



Hayes "B" Logan "A" Hayes "A" Logan "C" Hayes "C" Logan "B"

Overhangs added to entrance doors.

Window and door grids may or may not be included.

Elevations will be staggered.

Front-Load Townhomes
Rear Elevation - For Review

